

YORK REGION PRS #33 RFTC 397-21

2960 TESTON ROAD, VAUGHAN

ARCHITECT
THOMAS BROWN ARCHITECTS INC
197 SPADINA STREET, SUITE 500
TORONTO, ON M5T 2C8
TEL: (416) 364-5710 ext 101
WWW.TBRONARCH.COM

STRUCTURAL CONSULTANT
SALAS O'BRIEN
2235 VICTORIA PARK AVE #1100
TORONTO, ON M2J 5B5
TEL: (416) 635-9670
WWW.SALASOBRIEN.COM

MECHANICAL CONSULTANT
ZON ENGINEERING
465 PINEBUSH RD UNIT 5
CAMBRIDGE, ON N1T 2J4
TEL: 1-888-338-6363
WWW.ZONENGINEERING.COM

ELECTRICAL CONSULTANT
KIRKLAND ENGINEERING
570 WATER STREET
PETERBOROUGH, ON K9H 3M8
TEL: (705) 745-2631
WWW.KIRKLANDENG.COM

LANDSCAPE CONSULTANT
HARRINGTON MCAVAN LTD
41 MAIN ST UNIONVILLE UNIT 102
UNIONVILLE, ON L3R 2E5
TEL: (905) 294-8282
WWW.HARRINGTONMCAVAN.COM

SITE SERVICING CONSULTANT
MGM CONSULTING INC.
400 BRONTE STREET SOUTH
MILTON, ON L9T 0H7
TEL: (905) 875-1228
WWW.MGM.ON.CA

ARCHITECTURAL DRAWING LIST

SHEET	TITLE
A0.0	DRAWING INDEX & OBC MATRIX
A0.1	GUIDE TO USE OF DRAWINGS, TYPICAL DETAIL LIST, ABBREVIATIONS
A0.2	EXTERIOR & INTERIOR ASSEMBLIES
A0.3	FIXTURE MOUNTING HEIGHTS
A1.1	FIRE, LIFE SAFETY AND AODA REQUIREMENTS
A1.2	OBC LIMITING DISTANCE REVIEW
A2.1	SITE SURVEY
A2.2	SITE DEMOLITION, SITE DETAILS
A2.3	TREE INVENTORY / REMOVAL / PRESERVATION PLAN
A2.4	SITE PLAN & SITE STATISTICS
A2.5	LAYOUT PLAN - SITE
A2.6	SITE PLAN DETAILS
A2.7	SITE PLAN DETAILS
A2.8	CANOPY DETAILS/ FOUNDATION & ROOF PLANS
A3.1	FOUNDATION PLAN
A3.2	LAYOUT PLAN - FOUNDATION & GROUND FLOOR
A3.3	FLOOR PLAN
A3.4	FLOOR PLAN - INTERIOR PARTITION LAYOUT
A3.5	VEHICLE BAY, I.T. ROOM, CREW AREA ELEVATIONS & DETAILS
A3.6	VEHICLE BAY ELEVATIONS AND DETAILS
A4.1	ROOF PLAN
A4.2	LAYOUT PLAN - EDGE OF DECK
A5.1	BUILDING ELEVATIONS
A6.1	CLADDING, GLAZING AND LOUVER ELEVATIONS
A6.2	CLADDING ELEVATIONS
A6.3	CLADDING DETAILS
A7.1	BUILDING SECTIONS
A7.2	BUILDING SECTIONS
A8.1	WALL SECTIONS
A8.2	WALL SECTIONS
A9.1	FLOOR FINISH AND FURNITURE PLAN
A9.2	FLOOR PLAN FINISH DETAILS
A10.1	REFLECTED CEILING PLAN
A11.1	WASHROOM PLANS, ELEVATIONS & DETAILS
A12.1	MILLWORK PLANS, ELEVATIONS & DETAILS
A12.2	MILLWORK DETAILS
A13.1	DOOR FINISH SCHEDULE

STRUCTURAL DRAWING LIST

SHEET	TITLE
S0-00	LEAD SHEET
S1-01	FOUNDATION PLAN
S1-02	ROOF FRAMING PLAN
S2-01	FOUNDATION DETAILS
S3-01	ROOF SECTIONS
S4-01	GENERAL NOTES
S4-02	TYPICAL DETAILS
S4-03	TYPICAL DETAILS
S4-04	TYPICAL DETAILS

MECHANICAL DRAWING LIST

SHEET	TITLE
M0.1	COVER SHEET / SITE PLAN
M1.0	SCHEDULES
M1.1	SCHEDULES
M2.0	PLUMBING & DRAINAGE
M3.0	HEATING PLAN
M3.1	COOLING
M3.2	VENTILATION
M3.4	PART PLANS
M5.0	SCHEMATICS
M5.1	DETAILS
M5.2	DETAILS
M5.3	DETAILS
M6.0	FIRE PROTECTION

ELECTRICAL DRAWING LIST

SHEET	TITLE
E1	LEGEND AND SCHEDULE DRAWING LIST
E2	ELECTRICAL SITE PLAN
E3	TBD
E4	POWER AND SYSTEMS PLAN
E5	SECURITY PLAN
E6	LIGHTING PLAN
E7	FIRE ALARM PLAN AND DETAILS
E8	PANEL SCHEDULES AND SINGLE LINE DIAGRAM
E9	LIGHTING CONTROL SCHEMATICS
E10	TBD

LANDSCAPE DRAWING LIST

SHEET	TITLE
L1	LANDSCAPE PLANS AND DETAILS

CIVIL DRAWING LIST

SHEET	TITLE
CV-1	REMOVALS AND EROSION & SEDIMENT CONTROL PLAN
CV-2	GRADING PLAN
CV-3	SERVICING PLAN

ONTARIO BUILDING CODE DATA MATRIX

PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY

Name of Practice Address 1 Address 2		Thomas Brown Architects Inc. 197 Spadina Avenue, Suite 500 Toronto, ON M5T 2C8		Name of Project Location/Address Contact		York Region Paramedic Response Station #33 2960 Teston Road, Vaughan Chris Kubbinga			
3.00 BUILDING CODE VERSION		O.Reg. 332/12		LAST AMENDMENT		O.Reg. 511/20			
3.01 PROJECT TYPE		New Construction Construction of New Paramedic Response Station					[A] 1.1.2.		
3.02 MAJOR OCCUPANCY CLASSIFICATION		OCCUPANCY		USE		3.1.2.1.(1)			
		D F3	Business & Personal Services Low Hazard Industrial	Office Storage Garage					
3.03 SUPERIMPOSED MAJOR OCCUPANCIES		N/A					3.2.2.7.		
3.04 BUILDING AREA (m²)		DESCRIPTION		EXISTING		NEW			
		Building Footprint		0.00		386.00			
		TOTAL		-		386.00			
3.05 GROSS AREA (m²)		DESCRIPTION		EXISTING		NEW			
		1st Storey		0.00		386.00			
		TOTAL		-		386.00			
3.06 MEZZANINE AREA (m²)		DESCRIPTION		EXISTING		NEW			
		N/A		0.00		0.00			
		TOTAL		-		-			
3.07 BUILDING HEIGHT		1 0	STOREYS ABOVE GRADE STOREYS BELOW GRADE		7.50		(m) ABOVE GRADE		
							[A] 1.4.1.2. & 3.2.1.1.		
3.08 HIGH BUILDING		No					3.2.6		
3.09 NUMBER OF STREETS/ FIREFIGHTER ACCESS		1	STREET(S)					3.2.2.10. & 3.2.5.	
3.10 BUILDING CLASSIFICATION (SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY)		3.2.2.56.	Group D, up to 2 Storeys, Sprinklered					3.2.2.20-83.	
		3.2.2.79.	Group F, Division 3, up to 2 Storeys, Sprinklered						
3.11 SPRINKLER SYSTEM		Required		PROVIDED:		Entire Building			
		DESCRIBE		Sprinkler System is part of Contract scope					
3.12 STANDPIPE SYSTEM		Not Required						3.2.1.5. & 3.2.2.17.	
3.13 FIRE ALARM SYSTEM		Required		TYPE PROVIDED		Single Stage			
		Fire Alarm System provided as part of Contract						3.2.4.	
3.14 WATER SERVICE/ SUPPLY IS ADEQUATE		Yes							
3.15 CONSTRUCTION TYPE		RESTRICTIONS	Combination Permitted					3.2.2.20-83.	
		ACTUAL	Noncombustible		HEAVY TIMBER CONSTRUCTION			3.2.1.4.	
					N/A				
3.16 IMPORTANCE CATEGORY		Post-Disaster		-					
						4.1.2.1.(3), T4.1.2.1.B.			
3.17 SEISMIC HAZARD INDEX (IE Fa Sa (0.2)) =		0.31	Seismic Design Required for Table 4.1.8.18. Items 6 to 21					4.1.8.18.(1)	
3.18 REASONING FOR REQUIREMENT		Importance Category					4.1.8.18.(2)		
3.19 OCCUPANT LOAD		FLOOR LEVEL/AREA		OCCUPANCY TYPE		BASED ON		OCCUPANT LOAD (PERSONS) 3.1.17.	
		First Floor		Group D		Design of space		10	
		TOTAL						10	
3.20 HAZARDOUS SUBSTANCES		No						3.3.1.2. & 3.3.1.19.	
3.21 REQUIRED FIRE...		1.5 Hr 1hr		Storage Garage Separation Between Group D & F3 Mechanical / Electrical Room (Service Room)				3.3.5.6 3.6.2.1	
3.22 REQUIRED FIRE RESISTANCE RATINGS		HORIZONTAL ASSEMBLY		RATING (H)		LISTED DESIGN NO. ULC OR ASSEMBLY SB-2		NONCOMBUSTIBLE IN LIEU OF RATING?	
		FLOORS		45 min		N/A		YES	
		MEZZANINE		N/A		N/A		N/A	
		ROOF		N/A		N/A		N/A	
		SUPPORT ASSEMBLY		RATING (H)		LISTED DESIGN NO. ULC OR ASSEMBLY SB-2		NONCOMBUSTIBLE IN LIEU OF RATING?	
		FLOORS		45 min		N/A		YES	
		MEZZANINE		N/A		N/A		N/A	
		ROOF		N/A		N/A		N/A	
3.23 SPATIAL SEPARATION		WALL	EBF AREA (m2)	L.D. (m) OBC	L/H OR H/L	REQUIRED FRR	CONSTRUCTION TYPE	CLADDING TYPE	
		North	150	6.00	N/A	45min	Combination	Combination	
		West	102	9.00	N/A	N/R	Combination	Combination	
		East	147	9.00	N/A	N/R	Combination	Combination	
		South	145	9.00	N/A	N/R	Combination	Combination	
		WALL	L.D. (m) OBC	L.D. (m) ACTUAL	Permitted Max. % of Openings	Proposed % of Openings	Listed Design or Description		
		North	6.00	6.80	63.20%	1.60%	N/R		
		West	9.00	14.10	100.00%	24.61%	N/R		
		East	9.00	24.70	100.00%	23.04%	N/R		
		South	9.00	18.60	100.00%	11.45%	N/R		
3.24 BARRIER-FREE DESIGN		Yes						3.8.	
3.25 BARRIER-FREE ENTRANCES		No. OF ENTRANCES PEDESTRIAN ENTRANCES				1	3.8.1.2		
		No. OF ENTRANCES REQ'D TO BE BARRIER FREE				1	3.8.1.2		
3.26 BUILDING EXISTS		DESCRIPTION		REQUIRED		PROVIDED		3.4.2.1	
		Ground Floor		2		7			
3.27 LOCATION OF EXITS		OCCUPANCY		REQUIRED		PROVIDED		3.4.2.5	
		Business & Personal Services		40m Max					
		Low Hazard Industrial		45m Max					
3.28 PLUMBING FIXTURE REQUIREMENTS		RATIO:		MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE					3.7.4.
		FLOOR LEVEL/AREA		OCCUPANT LOAD		OBC SENTENCE		FIXTURES REQUIRED	FIXTURES PROVIDED
		First Floor Male		5		3.7.4.7		1	1
		First Floor Female		5		3.7.4.7		1	1
3.29 ENERGY EFFICIENCY		COMPLIANCE PATH:		ASHRAE 90.1-2013 +SB10 Division 3 Chapter 2					
		CLIMATIC ZONE:		ZONE 6					
3.30 BUILDING ENVELOPE REQUIREMENTS		DESCRIPTION		REQUIRED		PROVIDED		SB 10	
		ROOF, ENTIRELY ABOVE DECK:		R-35 ci		R-35		5-5-6	
		WALLS ABOVE GRADE, MASS:		R-19 ci		R-21.5		5-5-6	
		WALLS ABOVE GRADE, STEEL FRAMED:		R-13 + R15 ci		R-13 + R15 ci		5-5-6	
		SLAB-ON-GRADE (UNHEATED)		R-15 for 48in		R-15			

1 ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C

ONTARIO BUILDING CODE DATA MATRIX

SEISMIC DESIGN REQUIREMENTS FOR NON-STRUCTURAL ELEMENTS (CATEGORIES 6 TO 21 TABLE 4.1.1.18)

	IMPORTANCE CATEGORY	Post-Disaster		OBC REFERENCE
01	SITE CLASS	D		4.1.2.1.(3) & 5.2.2.1.(2)
02	5% SPECTRAL RESPONSE ACCELERATION Sa(0.2)	0.167		4.1.8.4.(1) & SB-1, T.1.2.
04	EARTHQUAKE IMPORTANCE FACTOR (IE)	1.50		T.4.1.8.5.
05	ACCELERATION BASED COEFFICIENT (Fa)			T.4.1.8.4.B
06	SEISMIC HAZARD INDEX	IEFaSa(0.2) = 0.31	0.35 OR GREATER? 0.12 OR LESS?	4.1.8.18.(1) 4.1.8.1.(1)
	SEISMIC DESIGN REQUIRED FOR CATEGORIES 6 TO 21, TABLE 4.1.1.18.?	REQUIRED		4.1.8.18.(2)
	REASONING FOR REQUIREMENT:	IMPORTANCE CATEGORY		

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ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	60% DD CLIENT REVIEW	2020.03.16
2	CLASS C COSTING	2020.03.18
3	60% DD RE-SUBMISSION	2020.07.20
4	SPA SUBMISSION 1	2020.06.11
5	60% CONTRACT DOCUMENTS	2020.09.28
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
22	ADDENDUM #7	2026-01-21
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT :
YORK REGION PRS #33
RFTC 397-21
2960 TESTON ROAD, VAUGHAN

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

DWG TITLE

DRAWING INDEX & OBC MATRIX

ORIENTATION

DATE 2020-11-18

SCALE DRAWN BY SRL

DWG STATUS:

IFC

PROJECT No.

1622

DRAWING No.

A0.0

REVISION

25

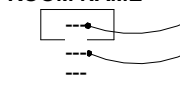
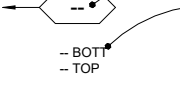


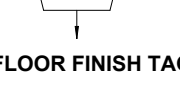
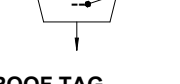
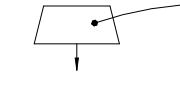
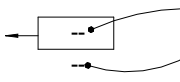
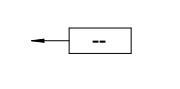
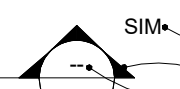
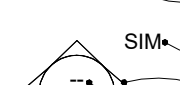


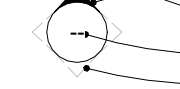
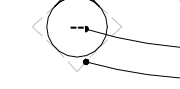
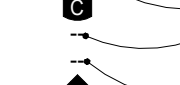
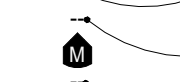
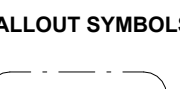

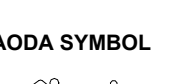
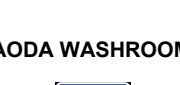




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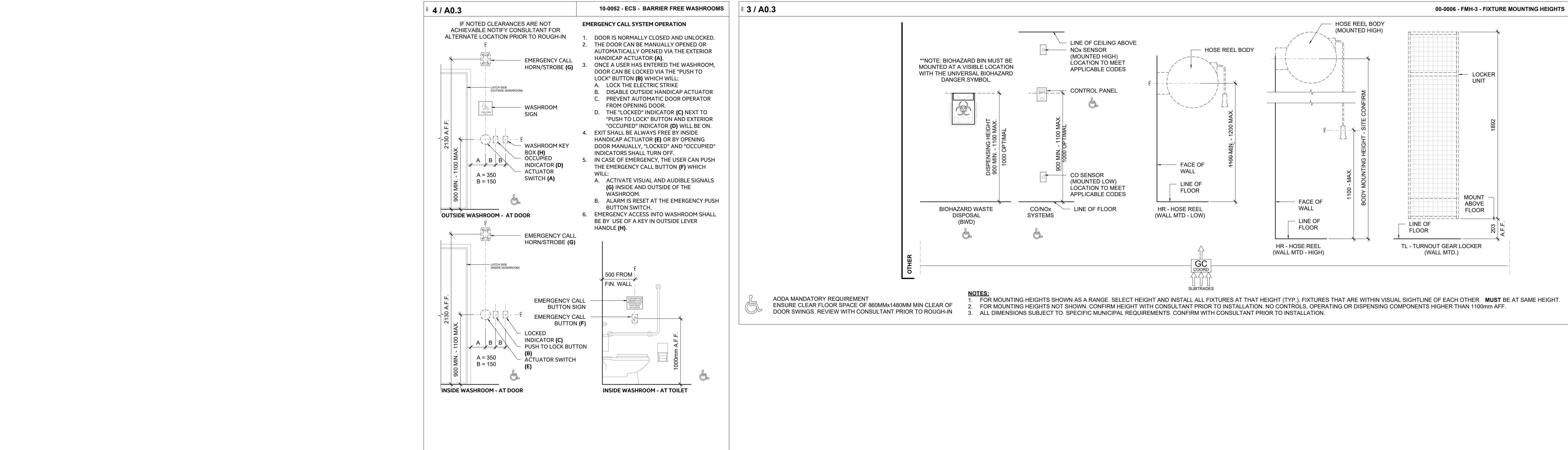
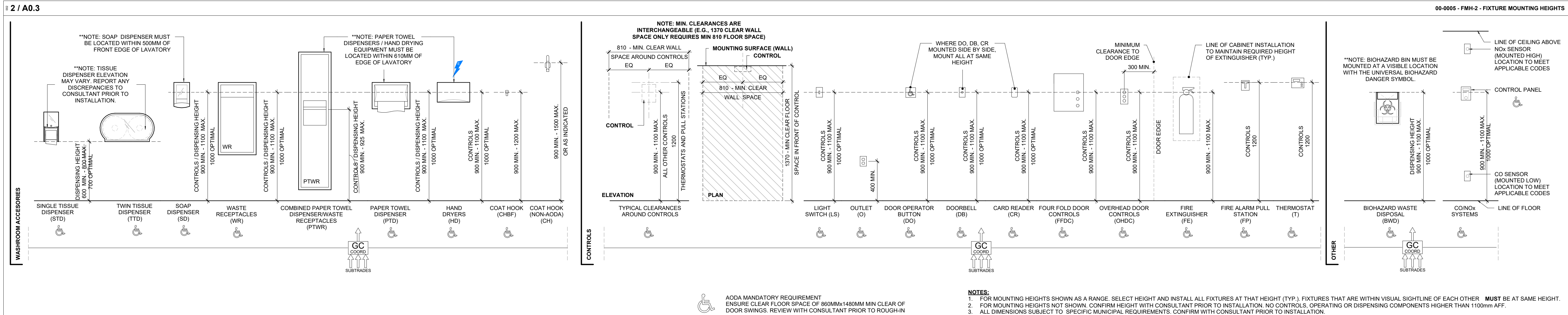
ABBREVIATION LIST		ABBREVIATION LIST		ABBREVIATION LIST		ABBREVIATION LIST	
ABBREV.	WORD	ABBREV.	WORD	ABBREV.	WORD	ABBREV.	WORD
A & @	AND ABOVE FINISH FLOOR	FAPS	FIRE ALARM PULL STATION	MAX	MAXIMUM	S.	SOUTH
A.F.F	ALUMINUM	FD	FLOOR DRAIN	MECH	MECHANICAL	S.C.S.	SOLID CORE STEEL
ARCH	ARCHITECTURAL	FE	FIRE EXTINGUISHER	MED	MEDIUM	S.C.W.	SOLID CORE WOOD
ATC	AUTOMATIC TILE CEILING	FEC	FIRE EXTINGUISHER CABINET	MFG	MANUFACTURING	S.M.	SHEET METAL
AUTO	AUTOMATIC	FHC	FIRE HOSE CABINET	MFR	MANUFACTURER	S.N.D.	SANITARY NAPKIN DISPENSER
		FIN	FINISH	MI	MIRROR	S.P.	STEEL PLATE
		FLR	FLOOR	MIN	MINIMUM	S.S.	STAINLESS STEEL
		FRR	FIRE RESISTANCE RATING	MISC	MISCELLANEOUS	S.SK.	SERVICE SINK
B	BOTTOM OF	FRS	FIRE ROUTE SIGN	MM	MILLIMETER	S.T.C	SOUND TRANSMISSION CLASS
B/W	BETWEEN	FT	FEET FOOT	MTC COORD	MULTIPLE TRADE COORDINATION REQUIRED	SC(OT)	SCUPPER - OVERFLOW TYPE
BB	ROOF ANCHOR - BOLT AROUND BEAM	FTG	FOOTING	MTD	MOUNTED	SCHED	SCHEDULE
BD	BOARD			MTL	METAL	SECT.	SECTION
BF	BARRIER FREE	G	GYP	MWLLBD(L)	MURPHY WALL BED - LATERAL	SER.	SERVICE
BIT	BITUMINOUS	G.W.B	GYP	MWLLBD(V)	MURPHY WALLBED - VERTICAL	SHLV.	SHOWER
BLDG	BUILDING	GA	GALV			SIM.	SIMILAR
BLKG	BLOCKING	GALV	GALVANIZED			SIM.	SIMILAR
BS	BLACK-OUT WINDOW SHADE	GL	GLAZING	N	NORTH	SQ.	SQUARE
		GND	GROUND	N	NON-SLIP	SQ. FT.	SQUARE FEET, SQUARE FOOT
		GRP	GRADE	N.T.S	NOT TO SCALE	SSUR	SOLID SURFACING (MATERIAL)
		GYP	GYP	NFWH	NOT-FREEZE WALL HYDRANT	SSUR(S)	SOLID SURFACE (MATERIAL) FOR ISLAND COUNTERTOPS
C	CONCRETE BLOCK UNIT			NIC	NOT IN CONTACT	SSUR(W/S)	SOLID SURFACE (MATERIAL) FOR WINDOW SILLS
C.L.	CENTERLINE	H	H.S.P	NO	NO	STA.	STANDARD
C.M.U	CONCRETE MASONRY UNIT	H.S.P	HOSE STAND PIPE	O.C.	ON CENTER	STD.	STATION
C/W	COMPLETE WITH	H.V.A.C	HEATING, VENTILATION, AIR CONDITIONING	O.D.	OUTSIDE DIAMETER	STL.	STEEL
CA ITEM	CASH ALLOWANCE ITEM	HB	HOSE BIB	O.H.	OVERHEAD	STOR.	STORAGE
CAB	CABINET	HD	HAND DRYER	OPG.	OPENING	STRUCT.	STRUCTURAL
CHAN	CHANNEL	HDA	HEAVY DUTY ASPHALT	OPP.	OPPOSITE	SUSP.	SUSPENDED
CL	CLOSET	HDRW	HARDWARE	ORN.	ORNAMENTAL	SYS.	SYSTEM
CLG	CEILING	HLR	HORIZONTAL LIFELINE FALL PROTECTION	OUNCE	OUNCE	T	TONGUE AND GROOVE
CNTR	COUNTER	HLR	HORIZONTAL LIFELINE FALL PROTECTION			T & G.	TOILET TISSUE DISPENSER
COL	COLUMN	HLW	HORIZONTAL LIFELINE FALL PROTECTION			T.T.D	TOILET TISSUE HOLDER
CONC	CONCRETE					T/O	TOILET TISSUE HOLDER
CONST	CONSTRUCTION					TEL.	TELEPHONE
CONT	CONTINUOUS	HM	HOLLOW METAL			TEMP.	TEMPERATURE
CONTR	CONTRACTOR	HORIZ	HORIZONTAL			THR.	THRESHOLD
CORR	CORRIDOR	HR	HOUR			THRU.	THROUGH
CPT	CARPET	HT	HEIGHT			TOFM	TOILET - FLOOR MOUNTED
CR	CARD READER					TOWM	TOILET - WALL MOUNTED
CT	CERAMIC FLOOR TILE	I	INSIDE DIAMETER			TV.	TELEVISION
CTA	CERAMIC TILE BASE	LD	INSIDE DIAMETER			TYP.	TYPICAL
CWT	CERAMIC WALL TILE	IN	INCH, INCHES				
		INFO	INFORMATION				
D	DRINKING FOUNTAIN	INT	INTERIOR				
D.O	DOOR OPERATOR						
DET	DETAIL	J	JANITOR CLOSET				
DIA	DIAMETER	J.C	JOINT				
DIM	DIMENSION	JT	JOINT				
DN	DOWN						
DR	DOOR	K	KICK PLATE				
DS	DOWNSPOUT	K.P	KICK PLATE				
DWG	DRAWING						
DWR	DRAWER	L	LINEAR FOOT				
		L.H	LEFT HAND				
E	EAST	L.P	LOW POINT				
E.W	EACH WAY	LAM	LAMINATE				
EFG	ENTRANCE FLOOR GRILLE	LAV	LAVATORY				
EL	ELEVATION	LDA	LIGHT DUTY ASPHALT				
ELECT	ELECTRICAL	LNO	LINOLEUM				
ELEVATOR	ELEVATOR	LKR	LOCKER				
EMER	EMERGENCY	LNT	LINTEL				
ENCL	ENCLOSURE	LRG	LARGE				
ENTR	ENTRANCE, ENTRY	LVL	LEVEL				
EQ	EQUAL	LVR	LOUVER				
EQUIP	EQUIPMENT	LVR.O	LOUVER OPENING				
ES	ELECTRIC STRIKE						
EXIST	EXISTING	M	METER				
EXP	EXPOSED	M.O	MASONRY OPENING				
EXT	EXTERIOR	M.P	METAL PLATE				
		MAINT	MAINTENANCE				
F	FIRE ALARM	MAS	MASONRY				

SPECIFIED ITEMS (TOTAL QTY)		
TAG	DESCRIPTION	QUANTITY
DEFIB	DEFIB (OWNER SUPPLIED/ INSTALLED UNDER CONTRACT)	1
ACCESS CORRIDOR		
TB-1	TACKBOARD	1
WB-2	WHITEBOARD	1
FEC	FIRE EXTINGUISHER CABINET (RECESSED)	2
CH	COAT HOOK	5
CREW LOUNGE		
WSBO	WINDOW SHADE c/w BLACKOUT SHADE	2
DINING AREA		
WSBO	WINDOW SHADE c/w BLACKOUT SHADE	2
LOCKER ROOM		
L	LOCKERS AS SPECIFIED (REFER TO DRAWINGS FOR LAYOUT)	18
MECH / ELEC ROOM		
FEC	FIRE EXTINGUISHER CABINET (RECESSED)	1
MENS WC (UNIV)		
GBR+GBR-L SET (C/W ECS)	GRAB BAR SET (1 STRAIGHT + 1 L-SHAPED) C/W ECS	1
CH	COAT HOOK	2
GBR-30	GRAB BAR	1
GBR-42	GRAB BAR	2
MI-T	BARRIER FREE TILTED MIRROR	1
RSH	RECESSED SOAP HOLDER	1
RSPH	RECESSED SHAMPOO HOLDER	1
RSS	RETRACTABLE SHOWER SEAT	1
SC+R	SHOWER CURTAIN	1
SD	SOAP DISPENSER	1
TTD	TOILET TISSUE DISPENSER	1
VEHICLE BAY		
CD	CORD DROP	2
FEC	FIRE EXTINGUISHER CABINET (RECESSED)	2
EW	EYE WASH (FOOT OPERATED)	1
HR	HOSE REEL - WALL MOUNTED	1
WOMENS WC (UNIV)		
GBR+GBR-L SET (C/W ECS)	GRAB BAR SET (1 STRAIGHT + 1 L-SHAPED) C/W ECS	1
CH	COAT HOOK	2
GBR-30	GRAB BAR	1
GBR-42	GRAB BAR	2
MI-T	BARRIER FREE TILTED MIRROR	1
RSH	RECESSED SOAP HOLDER	1
RSPH	RECESSED SHAMPOO HOLDER	1
RSS	RETRACTABLE SHOWER SEAT	1
SC+R	SHOWER CURTAIN	1
SD	SOAP DISPENSER	1
TTD	TOILET TISSUE DISPENSER	1
WRITE UP ROOM		
TB-1	TACKBOARD	1
Grand total: 66		

SPECIFIED ITEMS (BY LOCATION)		
TAG	DESCRIPTION	QUANTITY
DEFIB	DEFIB (OWNER SUPPLIED/ INSTALLED UNDER CONTRACT)	1
ACCESS CORRIDOR		
TB-1	TACKBOARD	1
WB-2	WHITEBOARD	1
FEC	FIRE EXTINGUISHER CABINET (RECESSED)	2
CH	COAT HOOK	5
CREW LOUNGE		
WSBO	WINDOW SHADE c/w BLACKOUT SHADE	2
DINING AREA		
WSBO	WINDOW SHADE c/w BLACKOUT SHADE	2
LOCKER ROOM		
L	LOCKERS AS SPECIFIED (REFER TO DRAWINGS FOR LAYOUT)	18
MECH / ELEC ROOM		
FEC	FIRE EXTINGUISHER CABINET (RECESSED)	1
MENS WC (UNIV)		
GBR+GBR-L SET (C/W ECS)	GRAB BAR SET (1 STRAIGHT + 1 L-SHAPED) C/W ECS	1
CH	COAT HOOK	2
GBR-30	GRAB BAR	1
GBR-42	GRAB BAR	2
MI-T	BARRIER FREE TILTED MIRROR	1
RSH	RECESSED SOAP HOLDER	1
RSPH	RECESSED SHAMPOO HOLDER	1
RSS	RETRACTABLE SHOWER SEAT	1
SC+R	SHOWER CURTAIN	1
SD	SOAP DISPENSER	1
TTD	TOILET TISSUE DISPENSER	1
VEHICLE BAY		
CD	CORD DROP	2
FEC	FIRE EXTINGUISHER CABINET (RECESSED)	2
EW	EYE WASH (FOOT OPERATED)	1
HR	HOSE REEL - WALL MOUNTED	1
WOMENS WC (UNIV)		
GBR+GBR-L SET (C/W ECS)	GRAB BAR SET (1 STRAIGHT + 1 L-SHAPED) C/W ECS	1
CH	COAT HOOK	2
GBR-30	GRAB BAR	1
GBR-42	GRAB BAR	2
MI-T	BARRIER FREE TILTED MIRROR	1
RSH	RECESSED SOAP HOLDER	1
RSPH	RECESSED SHAMPOO HOLDER	1
RSS	RETRACTABLE SHOWER SEAT	1
SC+R	SHOWER CURTAIN	1
SD	SOAP DISPENSER	1
TTD	TOILET TISSUE DISPENSER	1
WRITE UP ROOM		
TB-1	TACKBOARD	1

TYPICAL DETAILS LIST		
SHEET NUMBER	DIVISION	DETAIL VIEW NAME
Division 0 - Schedules		
A0.3	Division 0 - Schedules	00-0004 - FMH-1 - FIXTURE MOUNTING HEIGHTS
A0.3	Division 0 - Schedules	00-0005 - FMH-2 - FIXTURE MOUNTING HEIGHTS
A0.3	Division 0 - Schedules	00-0006 - FMH-3 - FIXTURE MOUNTING HEIGHTS
AT3.1	Division 0 - Schedules	00-0001 - DR-1 - DOOR LEGEND AND FRAME TYPES
Division 2 - Site Construction		
A2.2	Division 2 - Site Construction	2-0002 - CF-1 - CONSTRUCTION FENCING
A2.2	Division 2 - Site Construction	2-0003 - CBST-1 - CBST DETAILS
A2.2	Division 2 - Site Construction	2-0004 - CS-1 - CONSTRUCTION SIGN
A2.2	Division 2 - Site Construction	2-0007 - SCF-1 - SEDIMENT CONTROL FENCING
A2.4	Division 2 - Site Construction	2-0016 - SUR-1 - ASPHALT AND CONCRETE SURFACES
A2.6	Division 2 - Site Construction	2-0008 - AODA PARK-1 - AODA PARKING SPACE DETAILS
A2.6	Division 2 - Site Construction	2-0008 - AODA RAMP-1 AODA PARKING SPACE DETAILS
A2.6	Division 2 - Site Construction	2-0011 - CD-1 - CURB DETAILS
A2.6	Division 2 - Site Construction	2-0012 - CD-2 - CURB AND RAMP DETAILS - SIDEWALKS AND DRIVEWAY ENTRANCES
A2.6	Division 2 - Site Construction	2-0013 - CD-3 - AODA RAMP DETAILS
A2.6	Division 2 - Site Construction	2-0062 - GD-2 - GENERATOR DETAIL (EXTERIOR)
A2.7	Division 2 - Site Construction	2-0009 - BF-1 - HCP SIGN FLEXPOST
A2.7	Division 2 - Site Construction	2-0014 - CLF-1 - CHAIN LINK FENCE DETAILS
A2.7	Division 2 - Site Construction	2-0015 - FP-1 - FLAG POLE BASE
A2.7	Division 2 - Site Construction	2-0017 - TF-1 - TYPICAL FENCE DETAILS
A2.7	Division 2 - Site Construction	2-0019 - LS-2 - LIGHT STANDARD LOW BASE DETAIL
A2.7	Division 2 - Site Construction	2-0060 - DPS - DIGITAL PYLON SIGNAGE
A2.7	Division 2 - Site Construction	2-0061 - MS - MUNICIPAL SIGNAGE
A8.2	Division 2 - Site Construction	2-0001 - CBFP-1 - CARDBOARD TEMPORARY FLOOR PROTECTION
Division 3 - Concrete		
A2.6	Division 3 - Concrete	3-0001 - CAA-1 - CONCRETE TRANSITION APRON TYPICAL (ASPHALT)
A3.1	Division 3 - Concrete	3-0004 - FS-1 - FROST SLAB DETAILS
A3.2	Division 3 - Concrete	3-0003 - CJ - TYPICAL CONCRETE JOINTS
A3.2	Division 3 - Concrete	3-0005 - SE-1 - SLAB EDGE DETAIL
A3.2	Division 3 - Concrete	3-0006 - SE-2 - SLAB EDGE DETAIL BAY DOORS
Division 4 - Masonry		
A1.1	Division 4 - Masonry	4-0050 - TOW MASONRY PARALLEL TO DECK FLUTES
A1.1	Division 4 - Masonry	4-0051 - TOW MASONRY PERPENDICULAR TO DECK FLUTES
A1.1	Division 4 - Masonry	4-0052 - TOW MASONRY PERPENDICULAR TO OWSJ / BEAM
A1.1	Division 4 - Masonry	4-0053 - TOW MASONRY PARALLEL TO OWSJ / BEAM
A3.3	Division 4 - Masonry	4-0011 - MASONRY DETAIL AT WINDOW OPENINGS
Division 5 - Metals		
A2.7	Division 5 - Metals	5-0006 - BO-1 - TYPICAL BOLLARD DETAILS
A2.8	Division 5 - Metals	INTERMEDIATE HANGER HAT DETAIL
A2.8	Division 5 - Metals	PERFORATED ALUMINUM FIN PATTERN DETAIL
A2.8	Division 5 - Metals	PERFORATED FIN SECTION
A2.8	Division 5 - Metals	PERIMETER HANGER HAT DETAIL
A3.3	Division 5 - Metals	5-0024 - FFD-2 - FOUR FOLD DOOR JAMB DETAIL
A3.3	Division 5 - Metals	5-0029 - OHD-2 - OVERHEAD DOOR JAMB DETAIL
A3.6	Division 5 - Metals	5-0021 - FFD SURROUND DETAILS - FOUR FOLD DOORS
A3.6	Division 5 - Metals	5-0022 - OHD SURROUND DETAILS - OVERHEAD DOORS
A6.2	Division 5 - Metals	PERFORATED ALUMINUM FIN PATTERN DETAIL Copy 1
Division 6 - Wood and Plastics		
A11.1	Division 6 - Wood and Plastics	6-0010 - MW-WSRM/VANBF - BARRIER FREE MILLWORK WASHROOM VANITY
A12.1	Division 6 - Wood and Plastics	6-0000 - MW-O - RWNY
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-CA-(U)2DR1SLF R1/2DR
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K - 2DRFR
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K - DSPNCH
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K-(U)1DR1SHLF/3DWR
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K-(U)2DR1SHLF/2DR2DWR
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K-(U)2DR1SHLF/2DRSNK
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K-(U)2DRMRW/2DR2DWR
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-K-1 - 2DWR2DR
A12.2	Division 6 - Wood and Plastics	6-0000 - MW-O-(U)2DR1SHLF/3DWRPED
A12.2	Division 6 - Wood and Plastics	6-0002 - MW - COUNTERTOP - BKSPRLSH - TILE
A12.2	Division 6 - Wood and Plastics	6-0002 - MW - COUNTERTOP - K - STAINLESS STEEL
A12.2	Division 6 - Wood and Plastics	6-0003 - MW - WORKSURFACE -1 - SSUR
Division 7 - Thermal and Moisture Protection		
A1.1	Division 7 - Thermal and Moisture Protection	7-0020 - TOW FIRE RATED - METAL TRACK DEFLECTION DETAIL
A1.1	Division 7 - Thermal and Moisture Protection	7-0021 - TOW METAL TRACK DEFLECTION DETAIL
A1.1	Division 7 - Thermal and Moisture Protection	7-0022 - TOW EXTERIOR WALLS - DECK PARALLEL TO DECK FLUTES
A1.1	Division 7 - Thermal and Moisture Protection	7-0023 - TOW EXTERIOR WALLS - DECK PERPENDICULAR TO DECK FLUTES
A1.1	Division 7 - Thermal and Moisture Protection	7-0029 - FD-1 - TYPICAL FIRE DAMPER INSTALLATION
A4.1	Division 7 - Thermal and Moisture Protection	7-0005 - RWL(CH)-1 RAIN WATER LEADER DETAIL
A4.1	Division 7 - Thermal and Moisture Protection	7-0012 - RE-2 ROOF EXPANSION JOINT DETAILS - TORCH DOWN
A6.3	Division 7 - Thermal and Moisture Protection	7-1001 - CLADDING DETAIL (S) - WHHEAD
A6.3	Division 7 - Thermal and Moisture Protection	7-1002 - CLADDING DETAIL (S) - SCLOSE
A6.3	Division 7 - Thermal and Moisture Protection	7-1003 - CLADDING DETAIL (S) - WSILL
A6.3	Division 7 - Thermal and Moisture Protection	7-1004 - CLADDING DETAIL (S) - SJDR
A6.3	Division 7 - Thermal and Moisture Protection	7-1005 - CLADDING DETAIL (S) - COPING
A6.3	Division 7 - Thermal and Moisture Protection	7-1006 - CLADDING DETAIL (S) - SILL
A6.3	Division 7 - Thermal and Moisture Protection	7-1007 - CLADDING DETAIL (S) - BSILL
A6.3	Division 7 - Thermal and Moisture Protection	7-1008 - CLADDING DETAIL (P) - IC
A6.3	Division 7 - Thermal and Moisture Protection	7-1009 - CLADDING DETAIL (P) - OC
A6.3	Division 7 - Thermal and Moisture Protection	7-1010 - CLADDING DETAIL (P) - EDW
A6.3	Division 7 - Thermal and Moisture Protection	7-1011 - CLADDING DETAIL (P) - EDW-T
A8.1	Division 7 - Thermal and Moisture Protection	7-0003 - AB-1 - AIR BARRIER DETAILS
Division 8 - Openings		
A3.6	Division 8 - Openings	8-0001 - FFD-1 - FOUR FOLD DOOR DETAILS
A3.6	Division 8 - Openings	8-0010 - OHD-1 - OVERHEAD DOOR DETAILS
A9.2	Division 8 - Openings	9-0001 - DSFFD-1 - DANGER SIGN @ FOUR FOLD DOORS
Division 9 - Finishes		
A3.2	Division 9 - Finishes	9-0008 - TD-FD-1 - TYPICAL FLOOR DRAIN - SLAB ON GRADE
A3.2	Division 9 - Finishes	9-0008-1 - TD-SB-1 - TYPICAL SHOWER DRAIN - SLAB ON GRADE
A9.2	Division 9 - Finishes	9-0002 - SSUR-1 - SOLID SURFACE SILL DETAIL
A9.2	Division 9 - Finishes	9-0006 - TD-1 - TYPICAL TILE DETAILS - THINSET (WALL + FLOOR)
A9.2	Division 9 - Finishes	9-0011 - BFSS-1 - SHOWER STALL - BARRIER FREE - FRAMED WALLS
A10.1	Division 9 - Finishes	A101-5 - CEILING TRANSITIONS
A10.1	Division 9 - Finishes	A101-6 - CEILING TRANSITIONS
Division 10 - Specialties		
A0.3	Division 10 - Specialties	10-0052 - ECS - UNIVERSAL WASHROOMS
A1.1	Division 10 - Specialties	10-0060 - FE-FIRE EXTINGUISHER
A3.2	Division 10 - Specialties	10-0001 - TD-1 - TRENCH DRAIN DETAIL
A0.1	Division 10 - Specialties	10-0050 - IS-INTERIOR SIGNS
A9.2	Division 10 - Specialties	10-0007 - WTB-1 WHITEBOARD / TACKBOARD DETAILS
A10.1	Division 10 - Specialties	A101-3 - LOCKER DETAILS
A10.1	Division 10 - Specialties	A101-4 - LOCKER TRIM (WOOD FASCIA)
A11.1	Division 10 - Specialties	10-0006 - SCR-1 - SHOWER CURTAIN ROD AND HOOK
Division 11 - Equipment		
A2.6	Division 11 - Equipment	11-0003 - IWS-1 - INCOMING WATER SERVICE
A3.3	Division 11 - Equipment	11-0007 - HB-1 - WALL HYDRANT (NFWH) DETAIL
A12.2	Division 11 - Equipment	11-0004 - CHST - CHARGING STATION
Division 12 - Furnishings		
A10.1	Division 12 - Furnishings	A101-7 - WINDOW SHADES

A0.1		00-0001 - GUIDE TO USE OF DRAWINGS	
<p>ROOM TAG</p> <p>ROOM NAME</p>  <p>IDENTIFIES ROOM NAME IDENTIFIES ROOM NUMBER</p> <p>WHERE SHOWN - INDICATES OCCUPANT LOAD OR ROOM AREA</p>		<p>READ THE GENERAL NOTES.</p> <p>THEY CONTAIN INFORMATION THAT IS ESSENTIAL TO UNDERSTANDING THE SCOPE OF WORK</p> <p>IT IS STRONGLY ADVISED THAT THE CONTRACTOR ENSURE ALL SUBTRADES REFER AND COORDINATE WITH A-SERIES DRAWINGS IN THE EXECUTION OF THEIR RESPECTIVE SCOPE OF WORK.</p>	
<p>WALL TAG</p>  <p>IDENTIFIES WALL TYPE</p> <p>WHERE SHOWN - INDICATES HEIGHT OF WALL BOTTOM OF WALL FROM FINISH FLOOR BELOW AND HEIGHT OF WALL. TYPICALLY APPEARS ON REFLECTED CEILING PLANS AT BULKHEADS ETC.</p>		<p>DIMENSIONS</p> <ol style="list-style-type: none"> THE SOFTWARE USED TO PRODUCE THESE DRAWINGS IS VERY PRECISE IN TERMS OF DIMENSIONING. FOR LAYOUT PURPOSES, DIMENSIONS CAN BE ROUNDED TO THE NEAREST 3MM INCREMENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS AND SPECIFICATIONS (HARD AND SOFT COPIES) ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK 	
<p>DOOR TAG</p> <p>DOOR TYPE</p>  <p>IDENTIFIES DOOR TYPE</p> <p>IDENTIFIES DOOR NUMBER</p>		<p>SEQUENTIAL NUMBERING</p> <ol style="list-style-type: none"> SOME ELEMENTS IN THE PROJECT MAY BE SEQUENTIALLY NUMBERED. WHERE PROJECT ELEMENTS ARE SEQUENTIALLY NUMBERED, THOSE NUMBERS SHALL BE USED IN THE PREPARATION OF ANY REQUIRED SUBMITTALS. 	
<p>WINDOW TAG</p>  <p>IDENTIFIES WINDOW / CURTAIN WALL TYPE</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>FLOOR TAG</p>  <p>IDENTIFIES FLOOR TYPE</p>		<p>ENGINEERED SIGN-OFF REQUIRED</p> <p>INDICATES WHERE AN REVIEW SIGN-OFF LETTER IS REQUIRED TO BE SUBMITTED TO CONFIRM INSTALLATION COMPLIANCE</p>	
<p>FLOOR FINISH TAG</p>  <p>IDENTIFIES FLOOR FINISH</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>ROOF TAG</p>  <p>IDENTIFIES ROOF TYPE</p>		<p>ENGINEERED SIGN-OFF REQUIRED</p> <p>INDICATES WHERE AN REVIEW SIGN-OFF LETTER IS REQUIRED TO BE SUBMITTED TO CONFIRM INSTALLATION COMPLIANCE</p>	
<p>CEILING TAG</p>  <p>IDENTIFIES CEILING TYPE</p> <p>IDENTIFIES HEIGHT OF CEILING ABOVE FINISHED FLOOR BELOW</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>ITEM TAG</p>  <p>IDENTIFIES ITEM BY A CODE OR DESIGNATION FOR REFERENCE TO SPECIFICATIONS OR SCHEDULES</p>		<p>ENGINEERED SIGN-OFF REQUIRED</p> <p>INDICATES WHERE AN REVIEW SIGN-OFF LETTER IS REQUIRED TO BE SUBMITTED TO CONFIRM INSTALLATION COMPLIANCE</p>	
<p>SECTION SYMBOLS</p>			
 <p>IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL</p> <p>THREE FILLED TRIANGLES INDICATES SECTION TYPE - BUILDING SECTION</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
 <p>IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL</p> <p>THREE OPEN TRIANGLES INDICATES SECTION TYPE - WALL SECTION</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p>		<p>ENGINEERED SIGN-OFF REQUIRED</p> <p>INDICATES WHERE AN REVIEW SIGN-OFF LETTER IS REQUIRED TO BE SUBMITTED TO CONFIRM INSTALLATION COMPLIANCE</p>	
 <p>IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL</p> <p>SINGLE FILLED TRIANGLE INDICATES SECTION TYPE - DETAIL SECTION</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p>		<p>ENGINEERED SIGN-OFF REQUIRED</p> <p>INDICATES WHERE AN REVIEW SIGN-OFF LETTER IS REQUIRED TO BE SUBMITTED TO CONFIRM INSTALLATION COMPLIANCE</p>	
<p>ELEVATION SYMBOLS</p>			
 <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>FILLED TRIANGLE INDICATES ELEVATION TYPE - BUILDING</p> <p>IDENTIFIES SHEET NUMBER</p> <p>TRIANGLE LOCATION INDICATES DIRECTION OF VIEW</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>OPEN TRIANGLE INDICATES ELEVATION TYPE - DETAIL</p> <p>IDENTIFIES SHEET NUMBER</p> <p>TRIANGLE LOCATION INDICATES DIRECTION OF VIEW</p> <p>CLADDING ELEVATION</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p> <p>GLAZING (WINDOW) ELEVATION</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p> <p>MILLWORK ELEVATION</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>CALLOUT SYMBOLS</p>			
 <p>IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL</p> <p>IDENTIFIES DETAIL NUMBER ON SHEET</p> <p>IDENTIFIES SHEET NUMBER</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>AODA SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS REQUIRED TO MEET REQUIREMENTS OF THE AODA (ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT) OR SIMILAR TYPE REQUIREMENT</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>AODA WASHROOM - ACCESSIBLE SYMBOL</p>			
 <p>INDICATES WHERE A WASHROOM IS TO BE CONSTRUCTED IN ACCORDANCE WITH AODA REQUIREMENTS FOR ACCESSIBLE WASHROOMS</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>AODA WASHROOM - UNIVERSAL SYMBOL</p>			
 <p>INDICATES WHERE A WASHROOM IS TO BE CONSTRUCTED IN ACCORDANCE WITH AODA REQUIREMENTS FOR UNIVERSAL WASHROOMS</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>FIRE RATING SYMBOL</p>			
 <p>INDICATES THAT ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>BUILDING ENVELOPE SYMBOL</p>			
 <p>INDICATES THAT ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>CASH ALLOWANCE SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>NIC (NOT IN CONTRACT) SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>MULTIPLE TRADE COORDINATION SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>INTERFERENCE COORDINATION SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>BUILDING ENTRANCE SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>SITE ACCESS SYMBOL</p>			
 <p>INDICATES THAT AN ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING</p>		<p>ENGINEERED SUBMITTAL REQUIRED</p> <p>INDICATES WHERE A STAMPED ENGINEERED DRAWING IS REQUIRED TO BE SUBMITTED PRIOR TO FABRICATION/INSTALLATION</p>	
<p>SITE ACCESS</p>			



8 / A1.1

4-0050 - TOW MASONRY PARALLEL TO DECK FLUTES

MASONRY WALL PARALLEL TO DECK FLUTES

U/S OF DECK

WALL

FIRE RATED DETAIL
REF: ULC No. HW-d-0513 OR EQUIVALENT

PACK FIRESTOP MATERIAL (DECK PLUGS PREFERRED) TO FILL GAP BETWEEN TOP OF WALL AND DECK, FILLING FLUTES. SEAL EXPOSED FACES TO MAINTAIN REQUIRED FIRE RATING / SMOKE SEAL

NON-FIRE RATED DETAIL
SIMILAR TO ABOVE SUBSTITUTING FIRESTOP MATERIAL WITH MINERAL WOOL (DECK PLUGS PREFERRED) AND FIRESTOP SEALANT WITH TROWELLED SEALANT

STRUCTURAL FRAMING REFER TO STRUCTURAL DRAWINGS

NOTES:

- TOP OF WALL DETAILS AT FIRE RATED ASSEMBLIES TO EXTEND RATING TO U/S OF DECK (REFER TO ASSEMBLIES SCHEDULE)
- ALL FIRESTOP COMPONENTS TO BE IN ACCORDANCE WITH SPECIFICATIONS

9 / A1.1

4-0051 - TOW MASONRY PERPENDICULAR TO DECK FLUTES

MASONRY WALL PERPENDICULAR TO DECK FLUTES

U/S OF DECK

STRUCTURAL FRAMING (MASONRY CLIPS)

WALL

FIRE RATED DETAIL
REF: ULC No. HW-D-0513 OR EQUIVALENT

PACK FIRESTOP MATERIAL (DECK PLUGS PREFERRED) TO FILL GAP BETWEEN TOP OF WALL AND DECK, FILLING FLUTES. SEAL EXPOSED FACES TO MAINTAIN REQUIRED FIRE RATING / SMOKE SEAL

NON-FIRE RATED DETAIL
SIMILAR TO ABOVE SUBSTITUTING FIRESTOP MATERIAL WITH MINERAL WOOL (DECK PLUGS PREFERRED) AND FIRESTOP SEALANT WITH TROWELLED SEALANT

FRR RATING (WHERE REQ'D)

NOTES:

- TOP OF WALL DETAILS AT FIRE RATED ASSEMBLIES TO EXTEND RATING TO U/S OF DECK (REFER TO ASSEMBLIES SCHEDULE)
- ALL FIRESTOP COMPONENTS TO BE IN ACCORDANCE WITH SPECIFICATIONS

10 / A1.1

4-0052 - TOW MASONRY PERPENDICULAR TO OWSJ / BEAM

MASONRY WALL PERPENDICULAR TO OWSJ AND / OR BEAM

U/S OF DECK

MASONRY CLIP

LINE OF MASONRY WALL PARALLEL TO DECK FLUTES BEYOND - SEE DETAIL

STRUCTURAL FRAMING REFER TO STRUCTURAL DRAWINGS (OWSJ SHOWN - BEAM SIMILAR)

FRR RATING (WHERE REQ'D)

FIRE RATED DETAIL
AROUND JOIST / BEAM. COPE MASONRY AROUND JOIST / BEAM TO LEAVE 25mm GAP. PACK FIRESTOP MATERIAL TO FILL GAP. SEAL EXPOSED FACES TO MAINTAIN REQUIRED FIRE RATING / SMOKE SEAL

NON-FIRE RATED DETAIL
SIMILAR TO ABOVE SUBSTITUTING FIRESTOP MATERIAL WITH MINERAL WOOL AND FIRESTOP SEALANT WITH TROWELLED SEALANT

JOIST CLIP

NOTES:

- TOP OF WALL DETAILS AT FIRE RATED ASSEMBLIES TO EXTEND RATING TO U/S OF DECK (REFER TO ASSEMBLIES SCHEDULE)
- ALL FIRESTOP COMPONENTS TO BE IN ACCORDANCE WITH SPECIFICATIONS

11 / A1.1

4-0053 - TOW MASONRY PARALLEL TO OWSJ / BEAM

MASONRY WALL PARALLEL TO OWSJ AND / OR BEAM

U/S OF DECK

STRUCTURAL FRAMING (OWSJ SHOWN - BEAM SHOWN DASHED)

WALL

FIRE RATED DETAIL
TOP OF JOIST / BEAM TO U/S OF DECK
REF: ULC No. HW-D-0513 OR EQUIVALENT
PACK FIRESTOP MATERIAL (DECK PLUGS PREFERRED) TO FILL GAP BETWEEN TOP OF JOIST / BEAM AND DECK, FILLING FLUTES. SEAL EXPOSED FACES TO MAINTAIN REQUIRED FIRE RATING / SMOKE SEAL

TOP OF WALL TO TOP OF JOIST / BEAM

- 15mm GYPSUM WALLBOARD
- 64MM STUDS @ 400MM o/c
- PACK MINERAL WOOL TO FILL FRAMED SPACE AS INDICATED
- TAPE GYPSUM BOARD AND FIRESTOP PERIMETER TO ENSURE CONTINUITY OF FIRE SEPARATION / SMOKE SEAL

NON-FIRE RATED DETAIL
SIMILAR TO ABOVE SUBSTITUTING FIRESTOP MATERIAL WITH MINERAL WOOL (DECK PLUGS PREFERRED) AND FIRESTOP SEALANT WITH TROWELLED SEALANT

FRR RATING (WHERE REQ'D)

NOTES:

- TOP OF WALL DETAILS AT FIRE RATED ASSEMBLIES TO EXTEND RATING TO U/S OF DECK (REFER TO ASSEMBLIES SCHEDULE)
- ALL FIRESTOP COMPONENTS TO BE IN ACCORDANCE WITH SPECIFICATIONS

3 / A1.1

7-0020 - TOW FIRE RATED - METAL TRACK DEFLECTION DETAIL

TOP OF DECK

FIRE RATED SEALANT

MINERAL FIBER INSULATION OR DECK PLUG (DECK PLUG PREFERRED)

U/S OF DECK

FIRE RATED SEALANT

DEFLECTION TRACK

TYPE 'X' GYPSUM BOARD RIP (SINGLE LAYER SHOWN - MULTIPLE LAYERS IF REQ'D BY WALL TYPE)

METAL STUD SCREWED THROUGH TRACK SLOT

MINERAL FIBER INSULATION

NO CONNECTION TO WALL FRAMING BELOW

TYPE 'X' GYPSUM BOARD (SINGLE LAYER SHOWN - MULTIPLE LAYERS IF REQ'D BY WALL TYPE)

25 MM - DEFLECTION GAP (MIN.)

FIRE RATED DETAIL - MAINTAIN REQUIRED FIRE RESISTANCE RATING OVER ENTIRE ASSEMBLY

4 / A1.1

7-0021 - TOW METAL TRACK DEFLECTION DETAIL

TOP OF DECK

MINERAL FIBER INSULATION OR DECK PLUG (DECK PLUG PREFERRED)

BOTTOM OF DECK

DEFLECTION TRACK ASSEMBLY (DOUBLE DEFLECTION TRACK SHOWN - DEEP LEG DEFLECTION TRACK ALSO ACCEPTABLE)

METAL STUD

MINERAL FIBER INSULATION (IF REQ'D BY WALL TYPE)

GYPSUM BOARD (SINGLE LAYER SHOWN - MULTIPLE LAYERS IF REQ'D BY WALL TYPE)

NO CONNECTION TO DEFLECTION TRACK

25 MM - DEFLECTION GAP (MIN.)

5 / A1.1

7-0022 - TOW EXTERIOR WALLS - DECK PARALLEL TO DECK FLUTES

EXTERIOR WALL PARALLEL TO DECK FLUTES

ROOF

PARAPET (ALL TYPES)

EXTERIOR WALL (ALL TYPES)

U/S OF DECK

INSIDE

OUTSIDE

WALL

DETAIL APPLIES TO ALL AREAS WHERE CONDITION EXISTS REGARDLESS OF WALL TYPE

PACK MINERAL WOOL (DECK PLUGS PREFERRED) TO FILL GAP BETWEEN TOP OF WALL AND DECK, FILLING FLUTES TO INTERIOR FACE OF WALL. SEAL EXPOSED FACES

6 / A1.1

7-0023 - TOW EXTERIOR WALLS - DECK PERPENDICULAR TO DECK FLUTES

EXTERIOR WALL PERPENDICULAR TO DECK FLUTES

ROOF

PARAPET (ALL TYPES)

EXTERIOR WALL (ALL TYPES)

U/S OF DECK

INSIDE

OUTSIDE

WALL

DETAIL APPLIES TO ALL AREAS WHERE CONDITION EXISTS REGARDLESS OF WALL TYPE

PACK MINERAL WOOL (DECK PLUGS PREFERRED) TO FILL GAP BETWEEN TOP OF WALL AND DECK, FILLING FLUTES TO INTERIOR FACE OF WALL. SEAL EXPOSED FACES

7 / A1.1

7-0029 - FD-1 - TYPICAL FIRE DAMPER INSTALLATION

WALL

RETAINING ANGLES FASTENED TO DAMPER SLEEVE

DAMPER SLEEVE

EXPANSION SPACE AROUND DAMPER SLEEVE - 3MM PER LINEAL 300MM OF DAMPER DIMENSION (6MM MIN.)

DAMPER SLEEVE

RETAINING ANGLES FASTENED TO DAMPER SLEEVE

FIRE DAMPER

NOTES:

- DETAIL APPLIES TO ALL SPECIFIED DAMPER TYPES
- VERTICAL INSTALLATION SHOWN. DETAIL ALSO APPLIES TO HORIZONTAL INSTALLATIONS
- THE INTENT OF THIS DETAIL IS TO PROVIDE SUPPLEMENTARY INFORMATION TO MANUFACTURERS INSTRUCTIONS. ALL DAMPERS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS
- NO MATERIAL WITHIN EXPANSION SPACE. NO SEALANTS AT RETAINING ANGLES UNLESS DIRECTED BY AUTHORITIES HAVING JURISDICTION. IF SO DIRECTED, PROVIDE ONLY MANUFACTURER APPROVED SEALANT

CONFIRM ASSEMBLY RATING PRIOR TO INSTALLATION. DAMPER RATING MUST MATCH ASSEMBLY RATING (TYP.)

1 GROUND FLOOR PLAN - FIRE & EXIT PLAN, AODA

1: 75

2 / A1.1

10-0060 - FE-FIRE EXTINGUISHER

FIRE EXTINGUISHER AND CABINET SPECIFICATIONS

1 EACH FIRE EXTINGUISHER CABINET SHALL BE NATIONAL FIRE EQUIPMENT MODEL # 102RS

RECESSED 1.6 MM PRIME COATED STEEL CABINET WITH 2.8 MM GAUGE DOOR AND TRIM, 4.8 MM THICK LEXAN VIEWING PANEL AND CORBIN LATCH.

2 SUPPLY IN EACH F.E. CABINET AND WHERE SHOWN, U.L.C. #3A10BC (2.27 KG) RATED PRESSURE POWER MULTI-PURPOSE FIRE EXTINGUISHER COMPLETE WITH ENAMEL STEEL JACKET, PRESSURE GAUGE, LOCKING PIN, HOSE AND NOZZLE, HANGER BRACKET.

3 PROVIDE U.L.C. #3A-10BC (2.27 KG) CLASS A, B, AND C FIRE CLASSIFICATION RATED PRESSURE POWDER MULTI-PURPOSE FIRE EXTINGUISHER WITH BAKED ENAMEL STEEL CASING, PRESSURE GAUGE AND HANGER. (TOTAL OF 6 UNIT REQUIRED).

FIRE EXIT TRAVEL DISTANCE					
FROM ROOM	TO ROOM	ID	LENGTH	SPEED	TIME
VEHICLE BAY 110	VEHICLE BAY 110	FR 1-1	10.28 m	4.8 km/h	7.7 s
VEHICLE BAY 110	VEHICLE BAY 110	FR 1-2	10.01 m	4.8 km/h	7.5 s
VEHICLE BAY 110	VEHICLE BAY 110	FR 1-3	10.65 m	4.8 km/h	7.9 s
VEHICLE BAY 110	VEHICLE BAY 110	FR 1-4	9.81 m	4.8 km/h	7.3 s
MEDICAL STORAGE ROOM 112	VESTIBULE 100	FR 1-5	8.54 m	4.8 km/h	6.4 s
WOMENS WC (UNIV) 108	VESTIBULE 100	FR 2-1	10.26 m	4.8 km/h	7.6 s
MENS WC (UNIV) 107	VESTIBULE 100	FR 2-2	8.58 m	4.8 km/h	6.4 s
DINING AREA 104	VESTIBULE 100	FR 2-3	13.41 m	4.8 km/h	10.0 s
LOCKER ROOM 103	VESTIBULE 100	FR 2-4	14.53 m	4.8 km/h	10.8 s
WRITE UP ROOM 106	VESTIBULE 100	FR 2-5	5.67 m	4.8 km/h	4.2 s

LEGEND - FIRE PLAN	
	ENTRANCE/EXIT
	SIAMESE FIRE DEPARTMENT CONNECTION
	AUTOMATIC SPRINKLER - ENTIRE BUILDING
	FIRE ALARM CONTROL PANEL
	GENERATOR ANNUNCIATOR PANEL
	FIRE ALARM PULL STATION
	SINGLE / DOUBLE EMERGENCY LIGHT, BATTERY-POWERED
	ILLUMINATED EXIT SIGN, SINGLE FACE
	STROBE
	COMBINED SMOKE/CO DETECTOR
	FIRE EXTINGUISHER CABINET <i>o/w</i> FIRE EXTINGUISHER
	1.5hr FIRE SEPARATION
	1hr FIRE SEPARATION
	45min FIRE SEPARATION
	BF PATH OF TRAVEL MIN. 1100

THE CONTENTS OF THIS DRAWING AND SPECIFICATIONS
REMAIN THE COPYRIGHT PROPERTY OF
THOMAS BROWN ARCHITECT INC.
AND MUST BE RETURNED UPON COMPLETION OF THE WORK.

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
23	PERMIT FR ON PLNS	2026-02-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

YORK REGION PRS #33 RFTC

397-21

2960 TESTON ROAD, VAUGHAN

PROJECT :

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR
TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES
ARE TO BE REPORTED TO THE CONSULTANT.

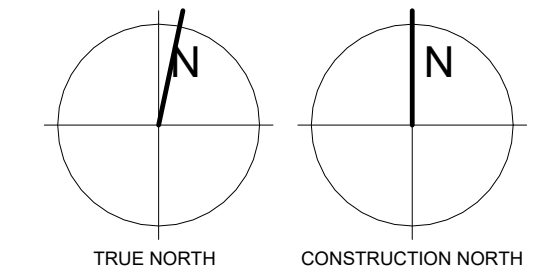
ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

FIRE, LIFE SAFETY AND AODA REQUIREMENTS

ORIENTATION



DATE 2020-11-18

PROJECT No.

1622

DRAWING No.

A1.1

REVISION

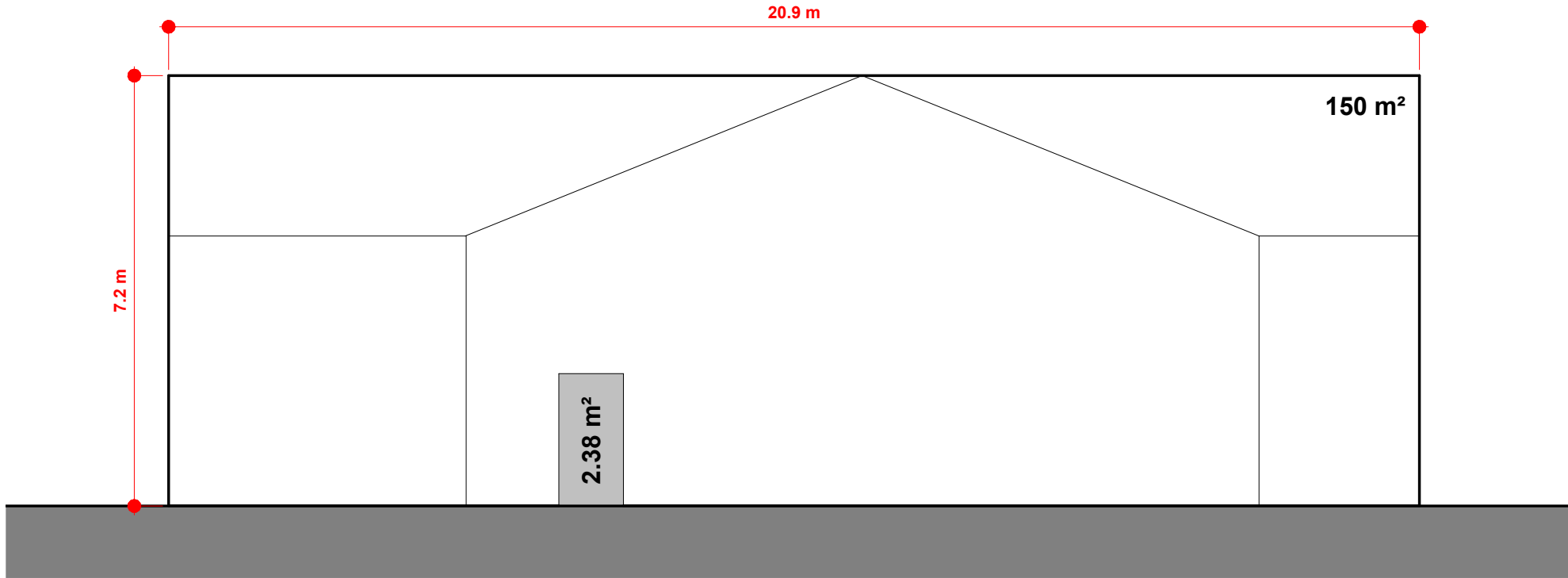
25

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NORTH BUILDING ELEVATION

Actual Exposing Building Face (m²):	150.0	(1)	EBF: Exposing building face
Actual Limiting Distance (m):	6.8	(2)	LD: Limiting distance
Unprotected Wall Opening Area (m):	2.4	(3)	UPO: Unprotected opening percentage (max.)
Exposing Building Face Length (m):	20.9	(4)	
Exposing Building Face Height (m):	7.2	(5)	
Actual Ratio (L/H OR H/L)	20.853:7.174	(6)	
Permitted Ratio (L/H OR H/L)	N/A	(7)	
Fire Resistance Rating	45min		
			Limiting Distances from the Tables
			Less Than and More Than
			the Actual Limiting Distance from the Drawings.
			LD_1 (< 6.758 m actual)LD_2 (> 6.758 m actual)
			6.07.0
			Limiting Distance from OBC Tables

			Area of Exposing Building Face from OBC Tables	Max. Area of Unprotected Openings at LD_1	Max. Area of Unprotected Openings at LD_2
EBF_1 (< 150 m2 actual):	100.0			68.0	88.0
EBF_2 (> 150 m2 actual):	150.0			52.0	66.0
Intermediate Interpolated Unprotected Opening % Values:				52.0	66.0
Final Interpolated Unprotected Opening % Value:				62.6%	
Unprotected Opening % Value Proposed:				1.6%	



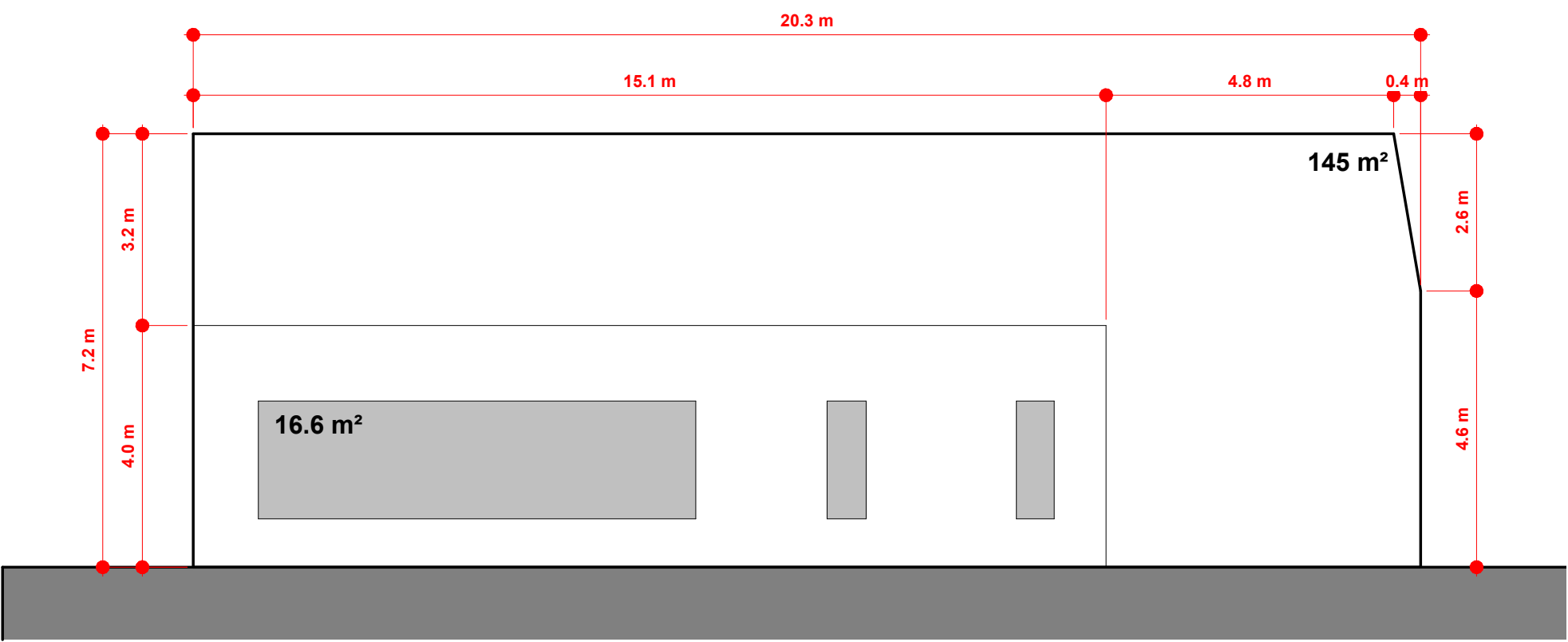
LD - NORTH ELEVATION

1 : 100

SOUTH BUILDING ELEVATION

Actual Exposing Building Face (m²):	145.0	(1)	EBF: Exposing building face
Actual Limiting Distance (m):	18.6	(2)	LD: Limiting distance
Unprotected Wall Opening Area (m):	16.6	(3)	UPO: Unprotected opening percentage (max.)
Exposing Building Face Length	20.3	(4)	
Exposing Building Face Height	7.2	(5)	
Actual Ratio (L/H OR H/L)	20.329:7.174	(6)	
Permitted Ratio (L/H OR H/L)	N/A	(7)	
Fire Resistance Rating	N/R		
			Limiting Distances from the Tables
			Less Than and More Than
			the Actual Limiting Distance from the Drawings.
			LD_1 (< 18.59 m actual)LD_2 (> 18.59 m actual)
			9.019.0
			Limiting Distance from OBC Tables

			Area of Exposing Building Face from OBC Tables	Max. Area of Unprotected Openings at LD_1	Max. Area of Unprotected Openings at LD_2
EBF_1 (< 145 m2 actual):	100.0			100.0	100.0
EBF_2 (> 145 m2 actual):	150.0			100.0	100.0
Intermediate Interpolated Unprotected Opening % Values:				100.0	100.0
Final Interpolated Unprotected Opening % Value:				100.0%	
Unprotected Opening % Value Proposed:				11.4%	



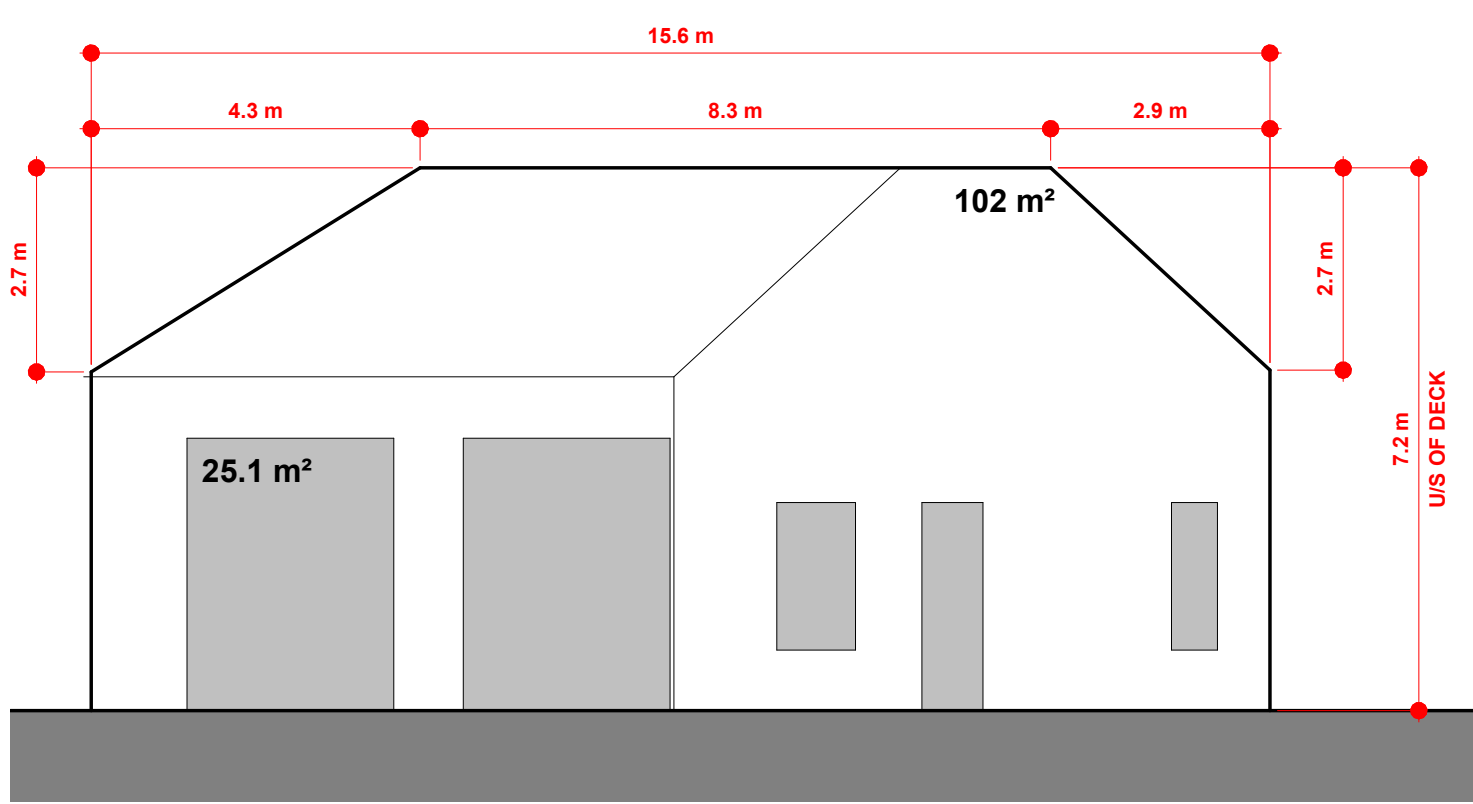
LD - SOUTH ELEVATION

1 : 100

WEST BUILDING ELEVATION

Actual Exposing Building Face (m²):	102.0	(1)	EBF: Exposing building face
Actual Limiting Distance (m):	14.1	(2)	LD: Limiting distance
Unprotected Wall Opening Area (m):	25.1	(3)	UPO: Unprotected opening percentage (max.)
Exposing Building Face Length	15.6	(4)	
Exposing Building Face Height	7.2	(5)	
Actual Ratio (L/H OR H/L)	15.578:7.174	(6)	
Permitted Ratio (L/H OR H/L)	N/A	(7)	
Fire Resistance Rating	N/R		
			Limiting Distances from the Tables
			Less Than and More Than
			the Actual Limiting Distance from the Drawings.
			LD_1 (< 14.062 m...)LD_2 (> 14.062 m...)
			9.015.0
			Limiting Distance from OBC Tables

			Area of Exposing Building Face from OBC Tables	Max. Area of Unprotected Openings at LD_1	Max. Area of Unprotected Openings at LD_2
EBF_1 (< 102 m2 actual):	100.0			100.0	100.0
EBF_2 (> 102 m2 actual):	150.0			100.0	100.0
Intermediate Interpolated Unprotected Opening % Values:				100.0	100.0
Final Interpolated Unprotected Opening % Value:				100.0%	
Unprotected Opening % Value Proposed:				24.6%	



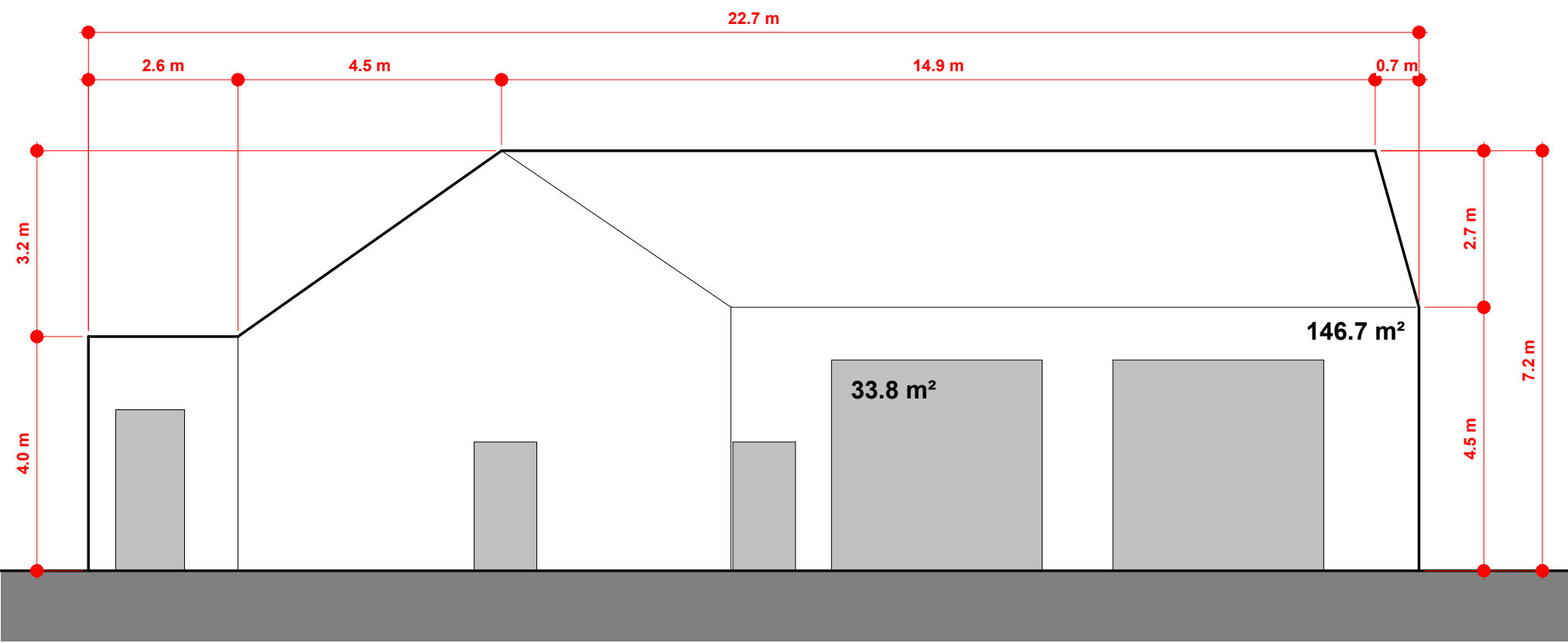
LD - WEST ELEVATION

1 : 100

EAST BUILDING ELEVATION

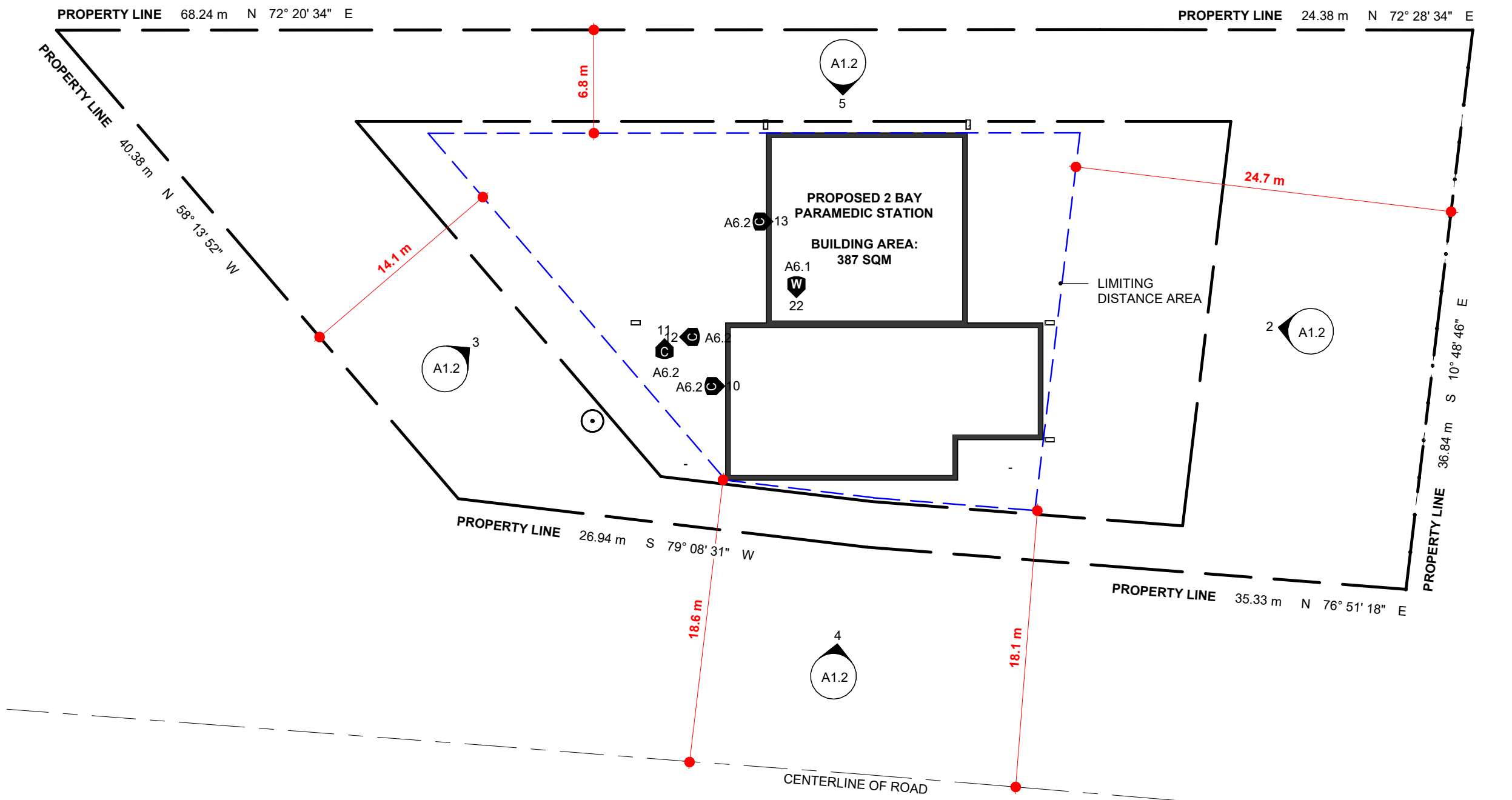
Actual Exposing Building Face (m²):	146.7	(1)	EBF: Exposing building face
Actual Limiting Distance (m):	24.7	(2)	LD: Limiting distance
Unprotected Wall Opening Area (m):	33.8	(3)	UPO: Unprotected opening percentage (max.)
Exposing Building Face Length	22.7	(4)	
Exposing Building Face Height	7.2	(5)	
Actual Ratio (L/H OR H/L)	22.7:7.174	(6)	
Permitted Ratio (L/H OR H/L)	N/A	(7)	
Fire Resistance Rating	N/R		
			Limiting Distances from the Tables
			Less Than and More Than
			the Actual Limiting Distance from the Drawings.
			LD_1 (< 24.709 m...)LD_2 (> 24.709 m...)
			9.025.0
			Limiting Distance from OBC Tables

			Area of Exposing Building Face from OBC Tables	Max. Area of Unprotected Openings at LD_1	Max. Area of Unprotected Openings at LD_2
EBF_1 (< 146.7 m2 actual):	100.0			100.0	100.0
EBF_2 (> 146.7 m2 actual):	150.0			100.0	100.0
Intermediate Interpolated Unprotected Opening % Values:				100.0	100.0
Final Interpolated Unprotected Opening % Value:				100.0%	
Unprotected Opening % Value Proposed:				23.0%	



LD - EAST ELEVATION

1 : 100



SITE PLAN - LIMITING DISTANCE

1 : 300

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
5	60% CONTRACT DOCUMENTS	2020.09.28
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

YORK REGION PRS #33 RFTC

397-21

2960 TESTON ROAD, VAUGHAN

PROJECT :

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

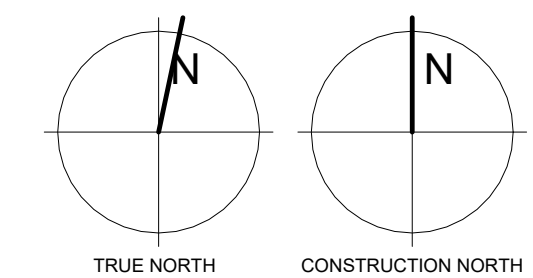
ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

OBC LIMITING DISTANCE REVIEW

ORIENTATION



DATE
2020-11-18

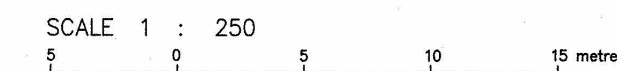
PROJECT No.
1622

DRAWING No.
A1.2

REVISION
25

2026-06-03 12:30:59 PM

CAP- CAPPED LATERAL: MEASUREMENTS
COULD NOT BE OBTAINED
*INFORMATION COMPILED FROM RECORDS
PROVIDED BY THE CLIENT, PROJECT No 1891



METRIC DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARINGS ARE UTM GRID, DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS
UTM ZONE 17, NAD 83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY
THE COMBINED SCALED FACTOR OF 0.999735.

FOR BEARING COMPARISONS, A ROTATION OF 1°10'20" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P AND P1

FOR BEARING COMPARISONS, A ROTATION OF 1°02'55" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P2

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM(CGVD-28:78) AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCH MARK No. 34-9 HAVING A PUBLISHED ELEVATION OF 234.384 METRES

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SB IR DENOTES STANDARD IRON BAR
- W IR DENOTES IRON BAR
- DENOTES MEASURED
- P1 DENOTES PLAN 65R-25880
- P2 DENOTES EXPROPRIATION PLAN D-949
- JOB DENOTES SURVEYORS' REAL PROPERTY REPORT B
- P2 R.G. MCKIBBEN LTD. DATED
- P1 DENOTES PLAN 65R-345
- P3 DENOTES LLOYD & PURCELL LTD. O.L.S.
- 1457 DENOTES R.J. STEWART, O.L.S.
- N1 DENOTES NOT IDENTIFIABLE
- DN DENOTES D.L. BARNES LIMITED
- CB DENOTES SINGLE SINK CATCHBASIN
- DB DENOTES DOUBLE CATCHBASIN
- DENOTES HANDWELL
- MH DENOTES MANHOLE
- SM MH DENOTES STORM MANHOLE
- WM DENOTES WATER MANHOLE
- DH DENOTES HYDRO PUMP
- LSH DENOTES LIGHT STANDARD
- TSC DENOTES TRAFFIC SIGNAL CONTROL
- DENOTES TRAFFIC SIGNAL
- + DENOTES FIRE HYDRANT
- WV DENOTES WATER VALVE
- DENOTES CENTERLINE
- W DENOTES MONITORING WELL
- DENOTES DECOUPOUS TREE
- DENOTES MAILBOX
- DENOTES MAILBOX
- STM — DENOTES UNDERGROUND STORM SEWER
- G — DENOTES UNDERGROUND GAS LINE
- W — DENOTES UNDERGROUND WATER LINE
- UC — DENOTES UNDERGROUND HYDRO LINE
- UT — DENOTES OVERHEAD HYDRO LINE
- LT — DENOTES UNDERGROUND TELEPHONE LINE
- FO — DENOTES UNDERGROUND FIBRE OPTIC LINE
- T — DENOTES OVERHEAD TELEPHONE LINE
- DN DENOTES UNDERGROUND LEVEL BO
- GLB DENOTES HYDRO MANHOLE
- HHM DENOTES TELEPHONE FENESTAL
- PE PE DENOTES NOMINAL PIPE SIZE
- NPS DENOTES POLYETHYLENE INTERMEDIATE PRESSURE
- PP PE DENOTES POLYETHYLENE CHLORIDE
- CP DENOTES COPPER PRESSURE PIPE

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

THE UTILITY DATA DEPICTED ON THIS DRAWING WERE ACQUIRED IN ACCORDANCE WITH ASCE STANDARD 38-02. THE INFORMATION IS SHOWN BY ATTRIBUTED QUALITY LEVELS WHICH ARE DEFINED AS FOLLOWS:

DATA QUALITY LEVEL

HIGHEST QUALITY

↑ ↑

●

QUALITY LEVEL A

—— QUALITY LEVEL B

—— QUALITY LEVEL C

----- QUALITY LEVEL D

LOWEST QUALITY

QUALITY LEVEL "A" - INFORMATION OBTAINED BY ACTUAL PHYSICAL EXPOSURE OF TARGETED UTILITIES AND SUBSEQUENT MEASUREMENT OF THE EXPOSED PRECISE HORIZONTAL AND VERTICAL POSITION.

QUALITY LEVEL "B" - INFORMATION OBTAINED USING GEOPHYSICAL LOCATE TECHNIQUES TO IDENTIFY THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF THE DESIGNATED UTILITIES.

QUALITY LEVEL "C" - INFORMATION OBTAINED BY SURVEYING AND PLOTTING
VISIBLE UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN
CORRELATING THIS INFORMATION TO THE QUALITY "D" INFORMATION OBTAINED.

QUALITY LEVEL "D" - INFORMATION DERIVED FROM UTILITY RECORDS OR VERBAL
COLLECTIONS

ALL SERVICES ARE QUALITY "D" UNLESS NOTED OTHERWISE.
LEVEL "D" RECORD INFORMATION SHOWN ON THIS PLAN HAVE BEEN PLOTTED
APPROXIMATELY AS PER THE RECORDS FOUND AND COULD NOT BE FIELD VERIFIED
WITHIN THE SCOPE OF THIS PROJECT. IF FURTHER VERIFICATION IS REQUIRED,
IT IS SUGGESTED THAT LEVEL "A" METHODOLOGIES BE EMPLOYED.

QUALITY LEVEL "D" INFORMATION OBTAINED FROM ENBRIDGE GAS
DISTRIBUTION INC. EGD FILE NO. 23323757; VIANET INTERNET SOLUTIONS
PROJECT NO. 13-332, SHEET NO. 1C-UG-15; BELL CANADA MUNICIPAL
OPERATIONS CENTRE MARK UP NO. 79703

THIS PLAN IS INTENDED FOR DESIGN PURPOSES ONLY. OTHER BURIED UTILITIES MAY EXIST WHICH ARE NOT SHOWN DUE TO INSUFFICIENT INFORMATION OR IMPROPER INSTALLATION. CONTACT ALL POTENTIAL OWNERS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION OR BREAKING GROUND. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE APPROPRIATE LEGAL REQUIREMENTS ARE MET.

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON AUGUST 23, 2019.

JANUARY 22, 2020
DATE


GREG ROBINSON

SUBSURFACE UTILITY FIELD WORK WAS COMPLETED ON THE 28th DAY OF AUGUST, 2019
AMENDED NOVEMBER 8, 2019 TO SHOW ADDITIONAL TOPOGRAPHY SOUTH OF TESTON ROAD

J.D. BARNES
 SURVEY
MAPPING


LAND INFORMATION SPECIALISTS
140 RENFREW DRIVE, SUITE 100, MARKHAM, ON L3R 6B3

T: (905) 477-3600 F: (905) 477-3882 www.jdbarnes.com		
DRAWN BY: HM/SSM	CHECKED BY: WK/CCB	REFERENCE NO.: 10-21-356-00

FILE: G:\19-21-356\00\Drawing\19-21-356-00.dgn	DATED: NOVEMBER 8, 2019
	PLOTTED: 1/22/2020

PROJECT:

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

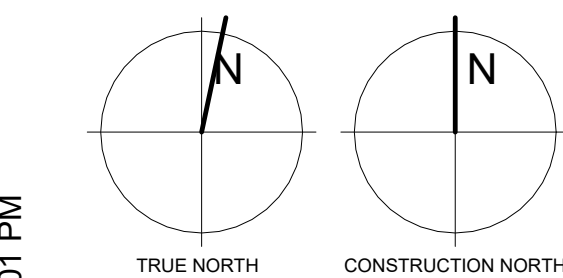
ARCHITECT
THOMASBROWNARCHITECTS

197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

DWG TITLE

ORIENTATIM



DATE 2020-11-18

PROJECT No. **1622**

16-06	1622	
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2022

DRAWING No.

A2.1

REVISION

25

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
5	60% CONTRACT DOCUMENTS	2020.09.28
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
	TENDER	2025-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT :

CLIENT

PROFESSIONAL SEAL

DWG TITLE

ORIENTATION

DATE

PROJECT No.

DRAWING No.

REVISION

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2020-11-18

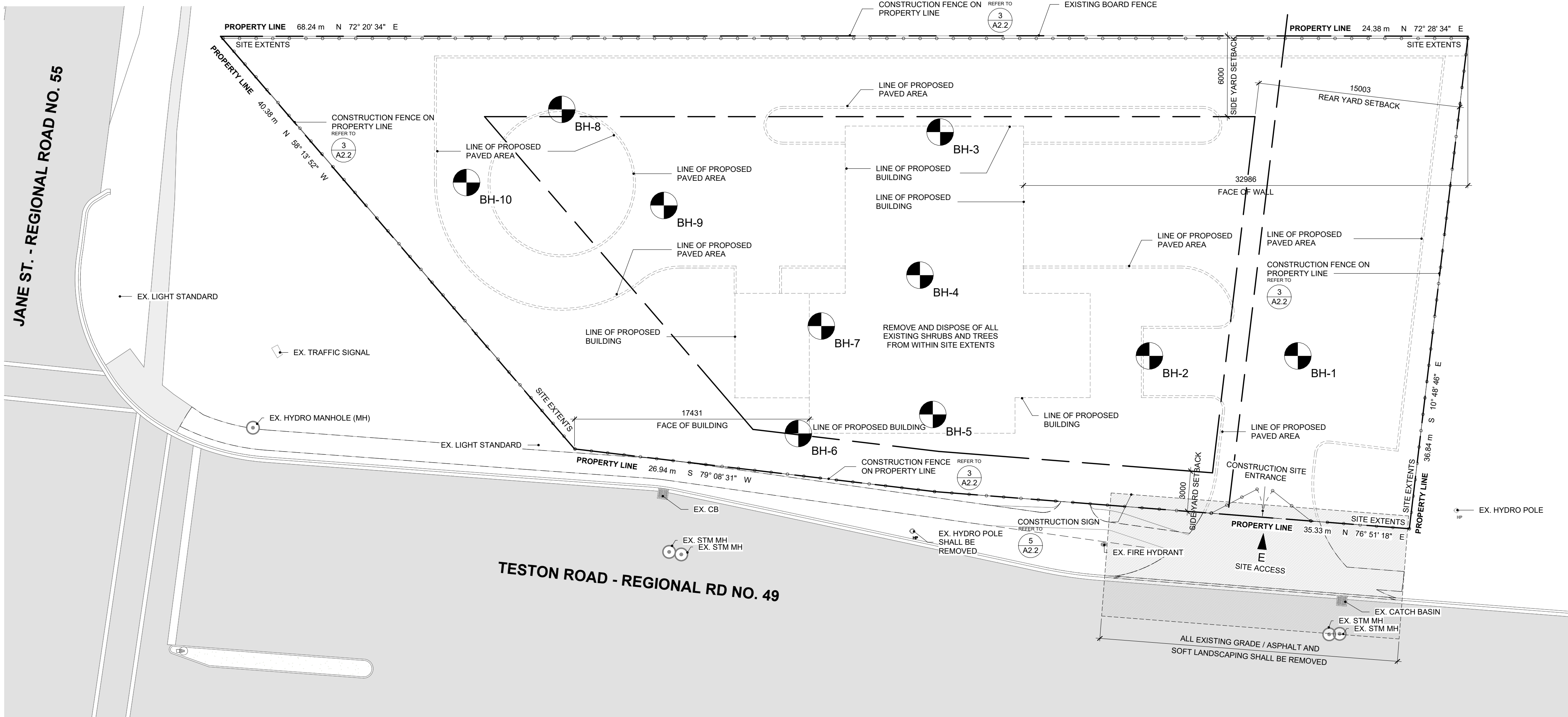
1622

A2.2

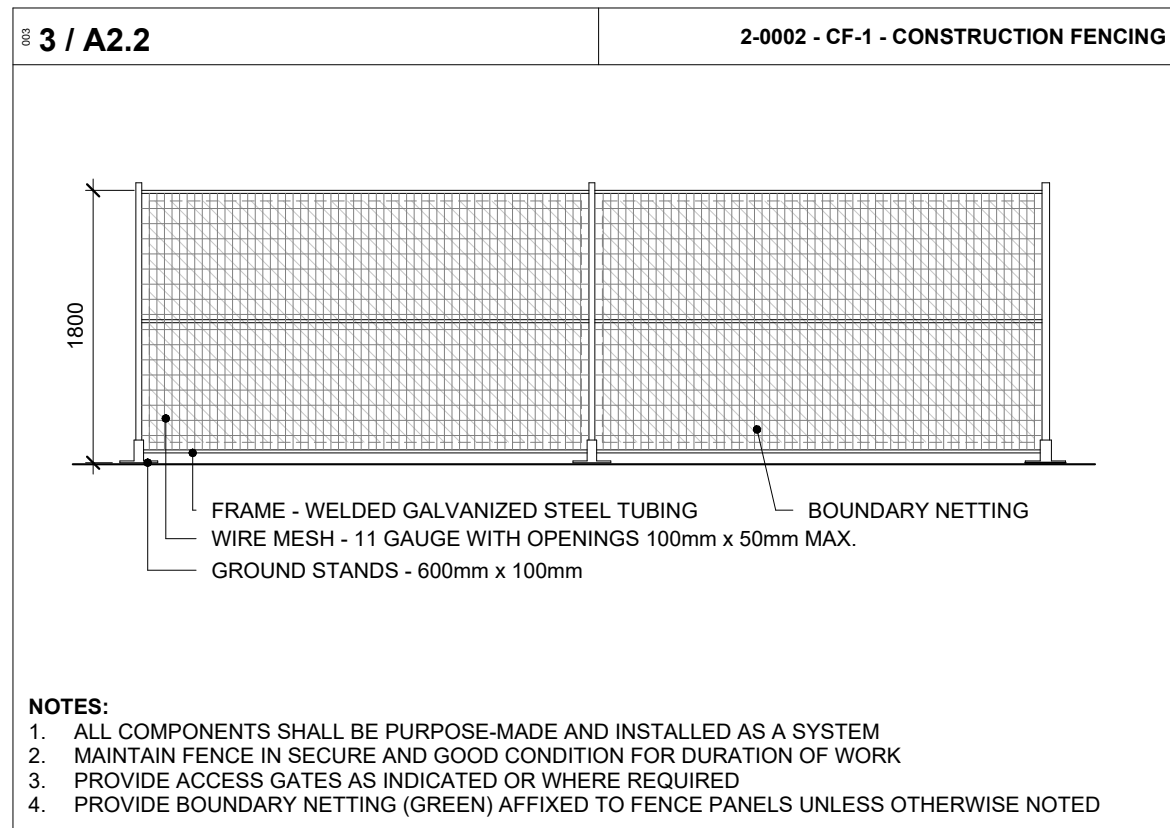
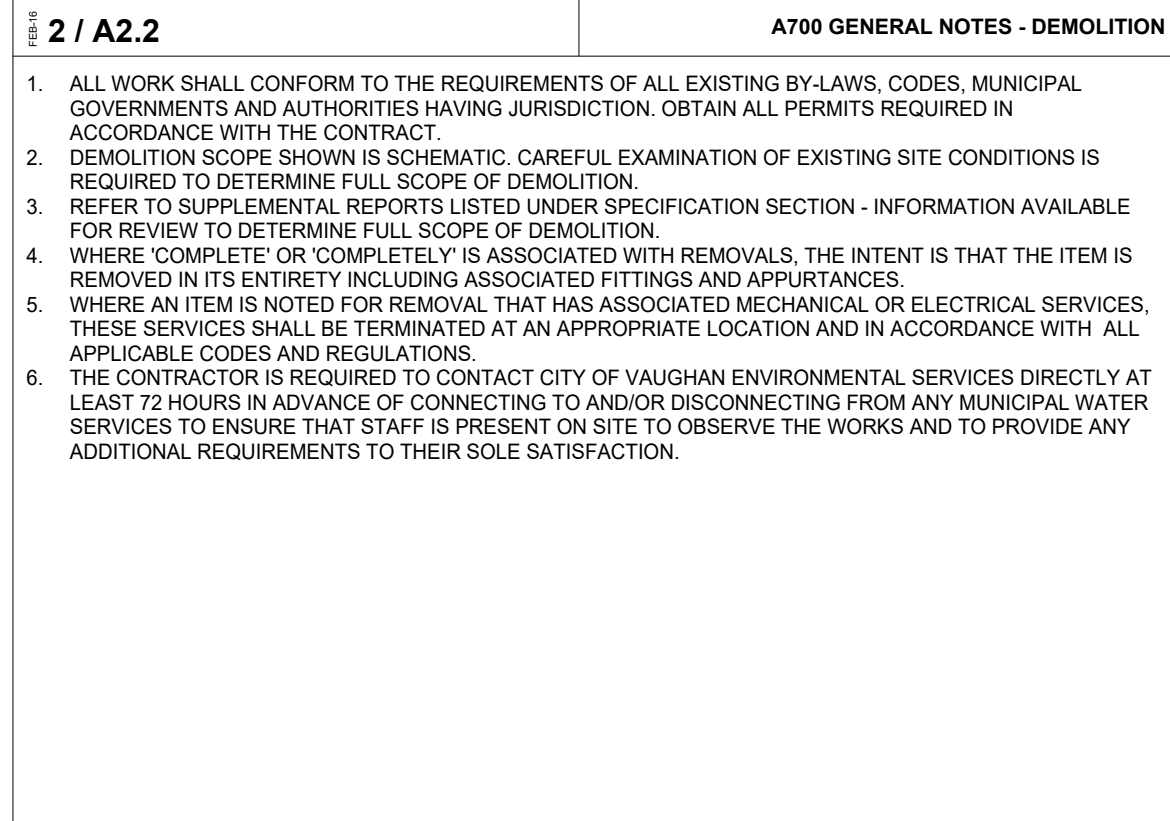
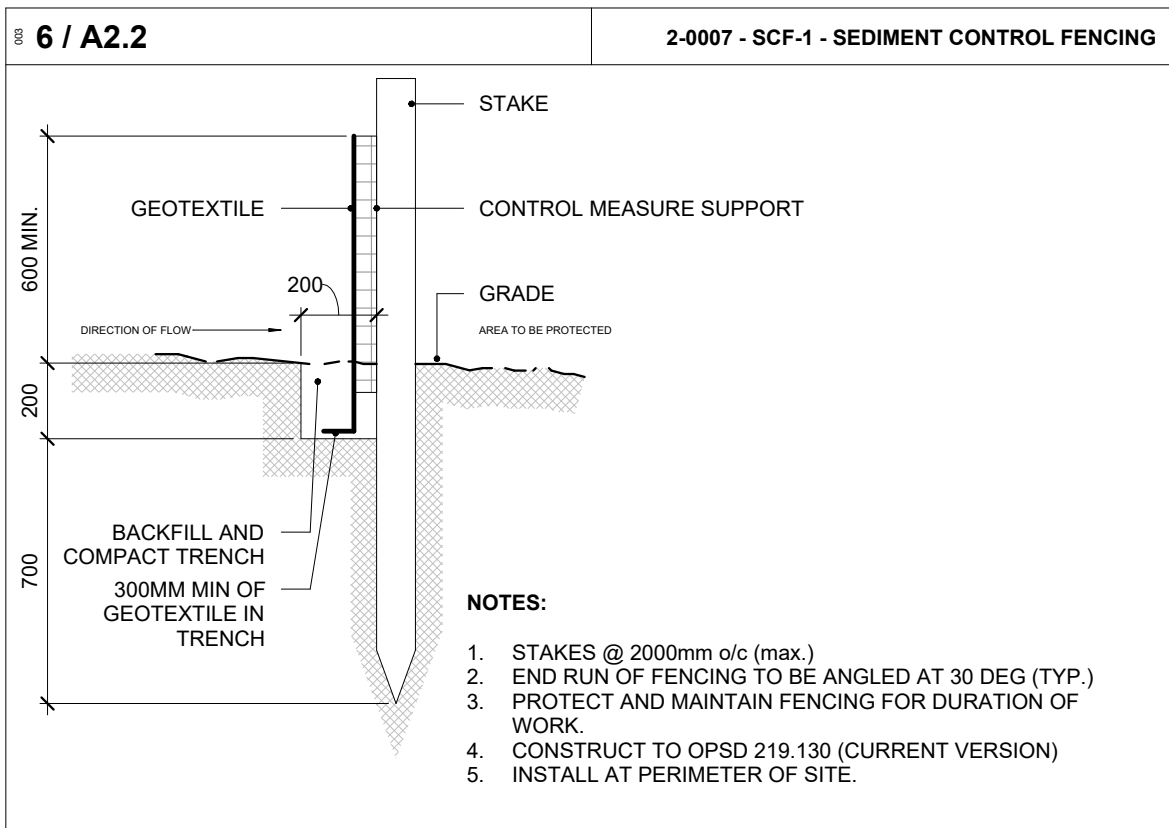
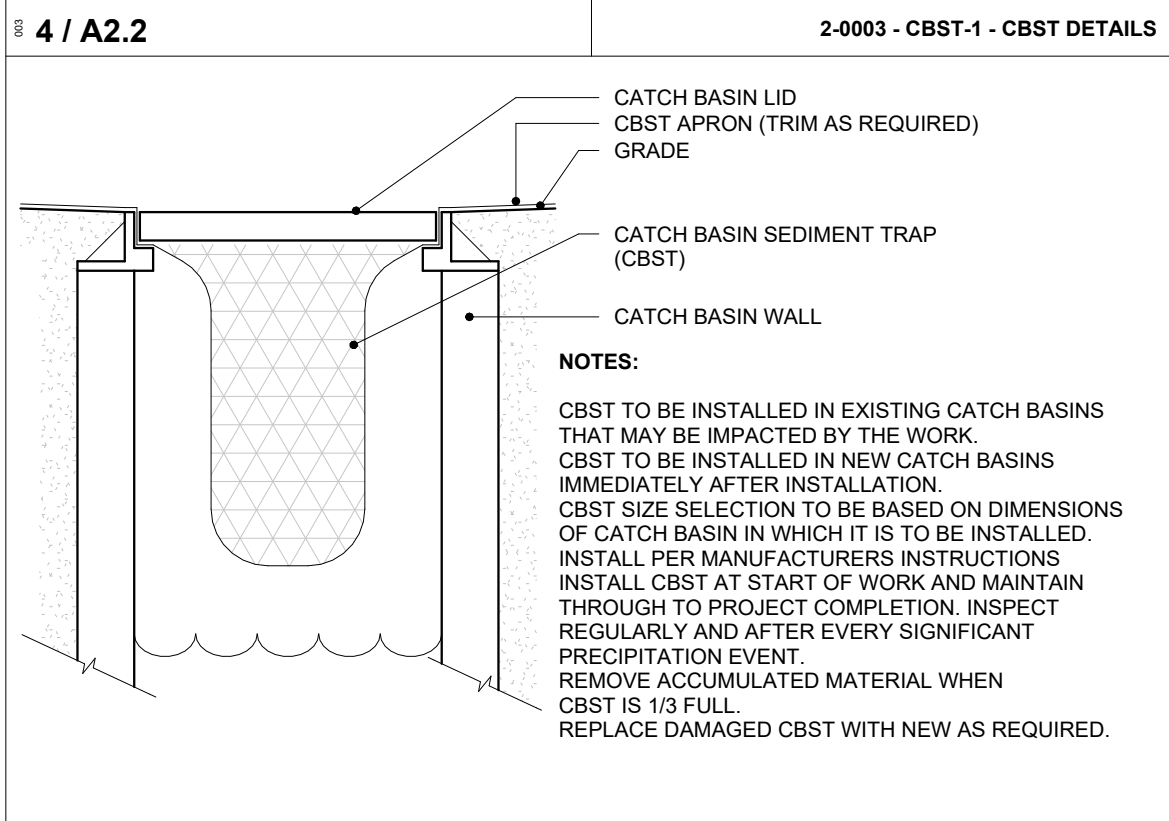
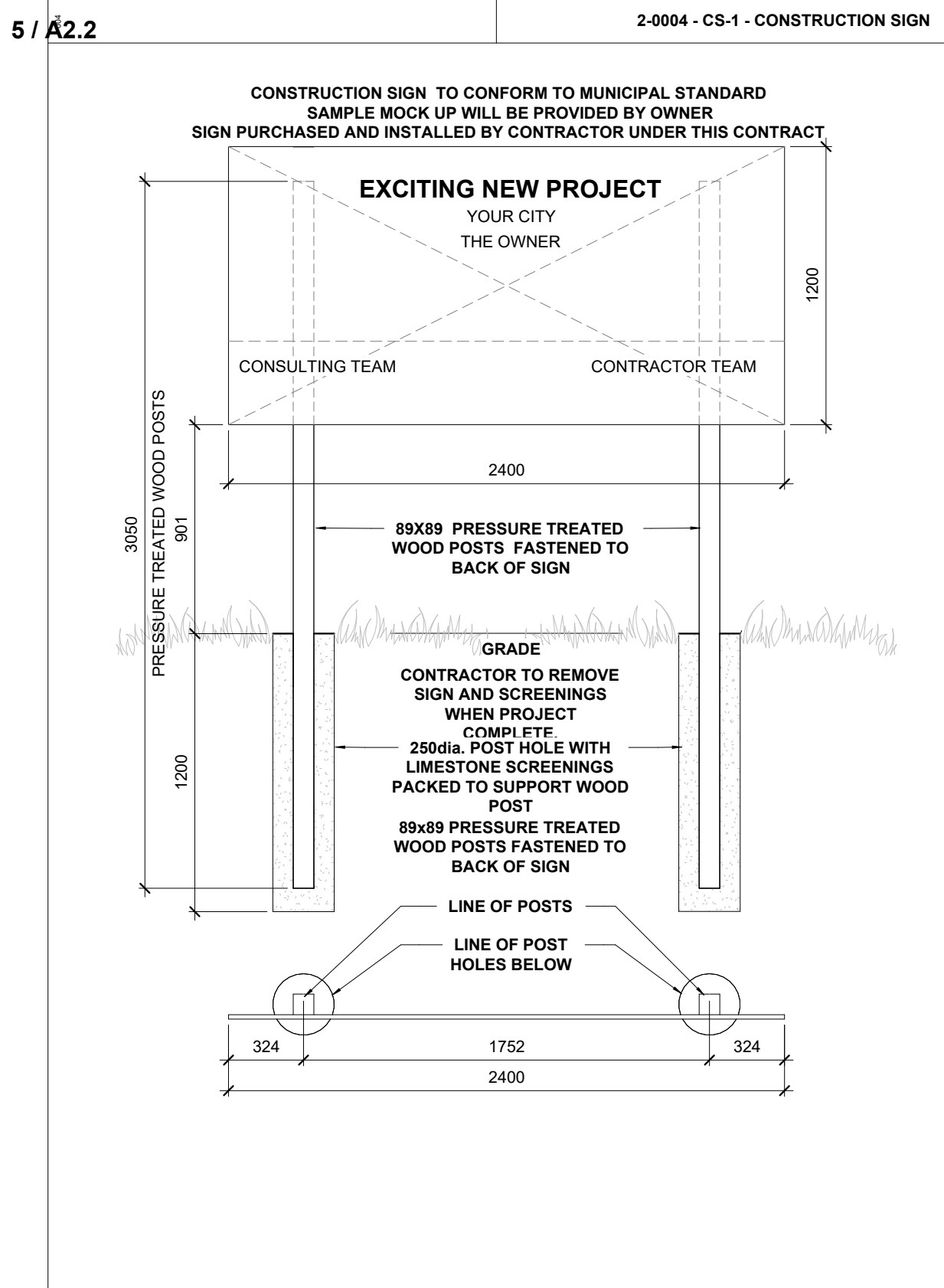
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YORK REGION PRS #33 RFTC
397-21

2960 TESTON ROAD, VAUGHAN



1 DEMOLITION - SITE PLAN
1 : 200



ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
16	SPA SUBMIT	2024-03-20
17	SPA SUBMISSION	2024-06-20
19	TENDER	2025-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

YORK REGION PRS #33 RFTC
397-21
2960 TESTON ROAD, VAUGHAN

PROJECT :

CLIENT :

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR
TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES
ARE TO BE REPORTED TO THE CONSULTANT.

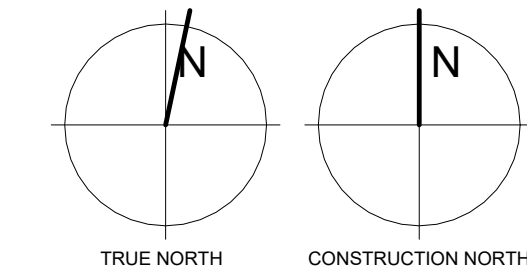
ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2B3

PROFESSIONAL SEAL

DWG TITLE

TREE INVENTORY /
REMOVAL /
PRESERVATION PLAN

ORIENTATION



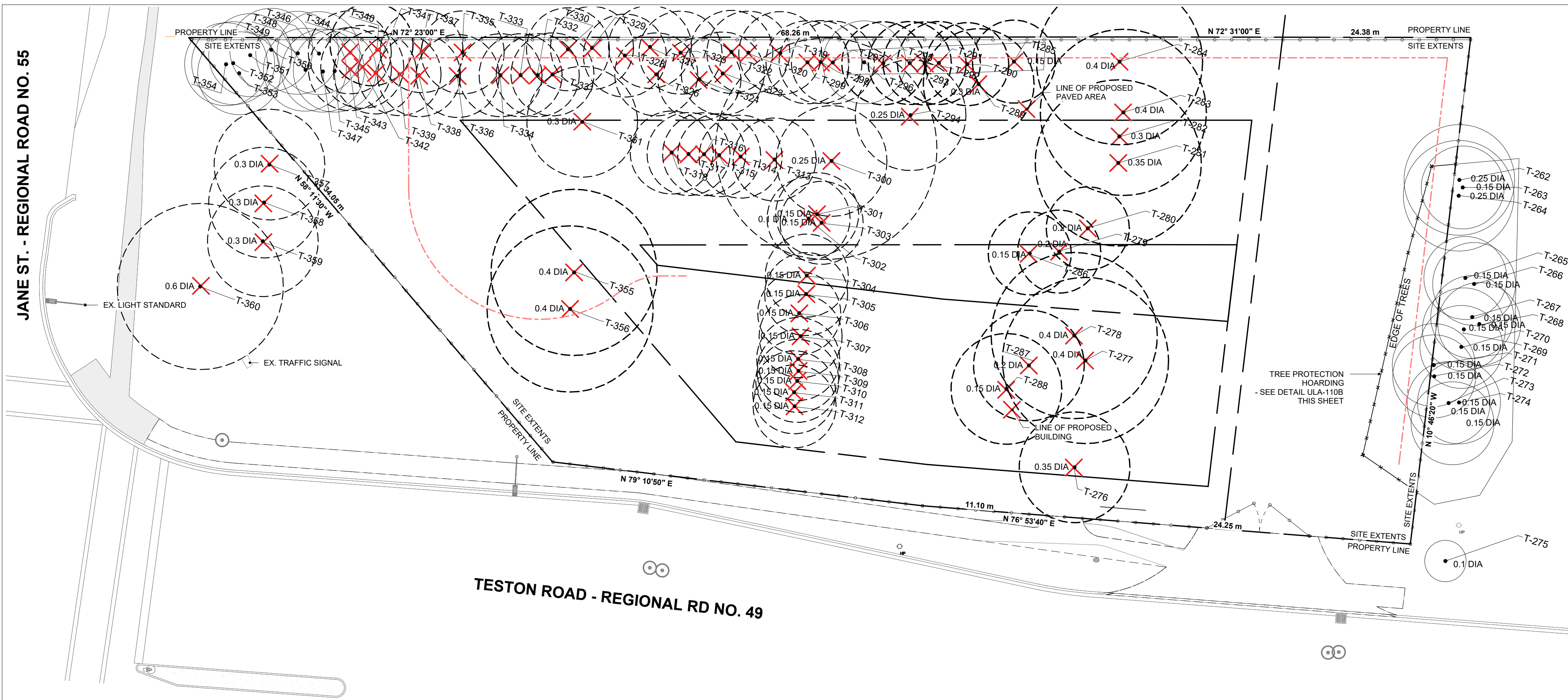
DATE
2020-11-18

PROJECT NO.
1622

DRAWING NO.

A2.3

REVISION
25



1 TREE REMOVAL AND PRESERVATION PLAN
1: 200

TREE INVENTORY & ASSESSMENT

TREE #	SPECIES	DBH (cm)	DIAMETER (cm)	HEALTH CONDITION	STRUCTURAL CONDITION	ACTION REQUIRED BY CONTRACTOR
279	MANITOBA MAPLE	17	44	AVERAGE	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
285	EASTERN WHITE CEDAR	17	30	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
286	BLACK WALNUT	17	26	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
287	NORWAY MAPLE	14	30	AVERAGE	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
288	NORWAY MAPLE	13	30	AVERAGE	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
290	EASTERN WHITE CEDAR	14	20	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
291	EASTERN WHITE CEDAR	17	24	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
292	EASTERN WHITE CEDAR	19	27	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
295	EASTERN WHITE CEDAR	17	34	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
297	EASTERN WHITE CEDAR	17	24	POOR	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
298	EASTERN WHITE CEDAR	17	24	POOR	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
299	BALSAM FIR	18	22	AVERAGE/POOR	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
302	NORWAY MAPLE	15	17	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
303	MANITOBA MAPLE	16	24	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
304	NORWAY MAPLE	15	30	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
307	EASTERN WHITE CEDAR	12	21	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
308	EASTERN WHITE CEDAR	18	21	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
309	MANITOBA MAPLE	16	20	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
310	EASTERN WHITE CEDAR	17	34	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
312	EASTERN WHITE CEDAR	14	27	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
314	EASTERN WHITE CEDAR	18	27	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
318	EASTERN WHITE CEDAR	19	40	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
321	MANITOBA MAPLE	17	20	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
324	EASTERN WHITE CEDAR	17	20	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
326	MANITOBA MAPLE	17	20	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
328	EASTERN WHITE CEDAR	17	20	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
331	EASTERN WHITE CEDAR	19	22	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
332	EASTERN WHITE CEDAR	18	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
334	EASTERN WHITE CEDAR	7	20	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
336	EASTERN WHITE CEDAR	14	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
337	BALSAM FIR	17	20	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
338	EASTERN WHITE CEDAR	19	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
339	EASTERN WHITE CEDAR	19	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
344	EASTERN WHITE CEDAR	17	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM
345	BALSAM FIR	15	20	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM

CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH <20CM: 35

276	NORWAY MAPLE	40	44	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
277	NORWAY MAPLE	42	46	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
278	NORWAY MAPLE	42	55	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
280	NORWAY MAPLE	21	30	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
281	SUGAR MAPLE	26	44	AVERAGE	AVERAGE/POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
282	SUGAR MAPLE	33	36	GOOD	GOOD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
283	SUGAR MAPLE	32	44	GOOD	GOOD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
284	SUGAR MAPLE	43	44	AVERAGE	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
289	BLACK WALNUT	31	40	GOOD	GOOD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
293	EASTERN WHITE CEDAR	22	30	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
294	NORWAY MAPLE	24	32	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
296	EASTERN WHITE CEDAR	20	26	POOR	POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
300	MANITOBA MAPLE	28	35	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
301	NORWAY MAPLE	26	30	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
305	EASTERN WHITE CEDAR	23	60	AVERAGE/POOR	AVERAGE/POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
306	MANITOBA MAPLE	22	36	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
311	NORWAY MAPLE	25	32	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
313	EASTERN WHITE CEDAR	21	46	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
315	EASTERN WHITE CEDAR	20	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
316	EASTERN WHITE CEDAR	21	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
317	EASTERN WHITE CEDAR	23	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
319	BALSAM FIR	22	25	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
320	BALSAM FIR	29	30	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
322	BALSAM FIR	33	20	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
323	EASTERN WHITE CEDAR	20	24	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
325	BALSAM FIR	20	25	VERY POOR	VERY POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
327	BALSAM FIR	24	28	VERY POOR	VERY POOR	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
329	BALSAM FIR	20	22	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
330	BALSAM FIR	22	24	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
333	EASTERN WHITE CEDAR	20	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
335	BALSAM FIR	28	33	AVERAGE/POOR	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
340	BALSAM FIR	24	27	DEAD	DEAD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
341	EASTERN WHITE CEDAR	26	30	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
342	EASTERN WHITE CEDAR	18	25	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
343	BALSAM FIR	31	34	AVERAGE/POOR	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
355	BLACK WALNUT	38	48	GOOD	GOOD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM

TREE INVENTORY & ASSESSMENT

TREE #	SPECIES	DBH (cm)	DIAMETER (cm)	HEALTH CONDITION	STRUCTURAL CONDITION	ACTION REQUIRED BY CONTRACTOR
356	BLACK WALNUT	42	54	GOOD	GOOD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
357	HORSE CHESTNUT	31	46	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
358	HORSE CHESTNUT	22	61	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
359	HORSE CHESTNUT	19	39	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
360	SILVER MAPLE	40	70	AVERAGE	AVERAGE	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM
361	BUR OAK	34	44	GOOD	GOOD	CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM

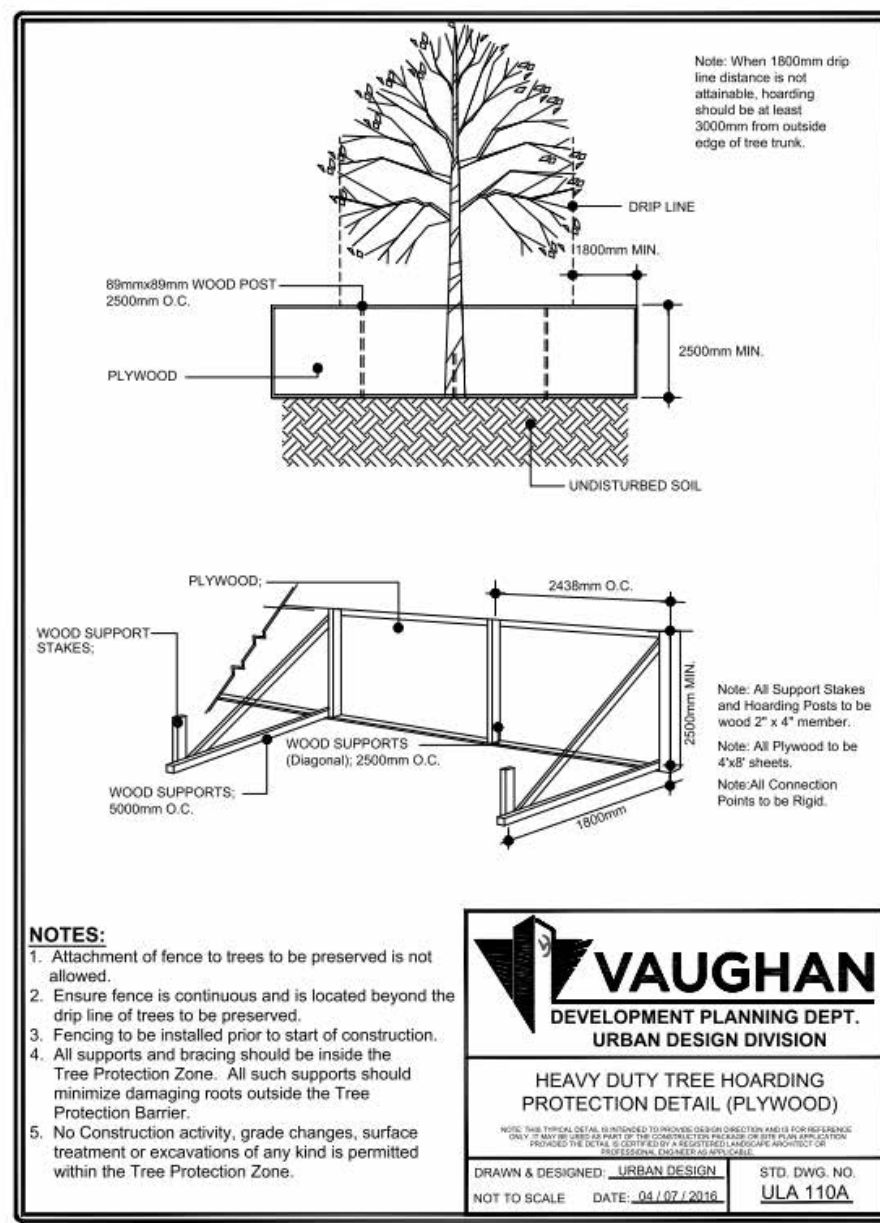
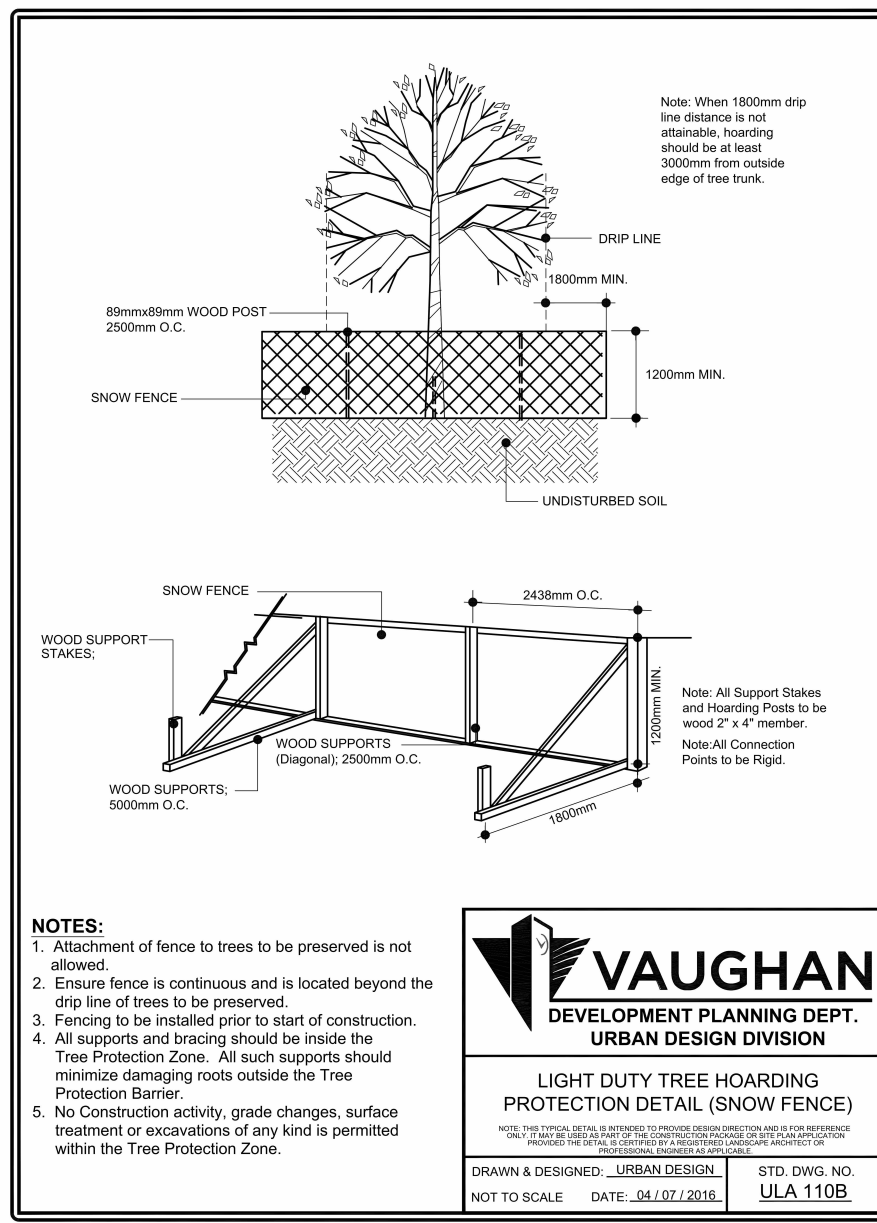
CONTRACTOR TO REMOVE AND DISPOSE OF TREE STUMP AND ROOT SYSTEM, DBH >20CM: 42

262	NORWAY MAPLE	26	31	AVERAGE	AVERAGE/POOR	EXISTING TREE TO REMAIN
263	NORWAY MAPLE	17	20	AVERAGE	AVERAGE/POOR	EXISTING TREE TO REMAIN
264	NORWAY MAPLE	30	50	AVERAGE	AVERAGE/POOR	EXISTING TREE TO REMAIN
265	NORWAY MAPLE	17	30	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
266	NORWAY MAPLE	17	21	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
267	SWEET CHERRY	12	17	AVERAGE/POOR	AVERAGE	EXISTING TREE TO REMAIN
268	SWEET CHERRY	17	28	AVERAGE/POOR	AVERAGE	EXISTING TREE TO REMAIN
269	SWEET CHERRY	16	20	AVERAGE/POOR	AVERAGE	EXISTING TREE TO REMAIN
270	SWEET CHERRY	12	20	AVERAGE/POOR	POOR	EXISTING TREE TO REMAIN
271	NORWAY MAPLE	9	27	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
272	SWEET CHERRY	18	20	AVERAGE	AVERAGE/POOR	EXISTING TREE TO REMAIN
273	MANITOBA MAPLE	11	26	AVERAGE	POOR	EXISTING TREE TO REMAIN
274	SWEET CHERRY	22	26	POOR	POOR	EXISTING TREE TO REMAIN
275	BUR OAK	10	14	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
278	EASTERN WHITE CEDAR	19	25	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
347	MANITOBA MAPLE	27	70	AVERAGE	AVERAGE/POOR	EXISTING TREE TO REMAIN
348	EASTERN WHITE CEDAR	16	20	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
349	EASTERN WHITE CEDAR	16	20	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
350	BALSAM FIR	22	30	DEAD	DEAD	EXISTING TREE TO REMAIN
351	MANITOBA MAPLE	13	45	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
352	EASTERN WHITE CEDAR	15	26	VERY POOR	VERY POOR	EXISTING TREE TO REMAIN
353	MANITOBA MAPLE	14	50	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN
354	EASTERN WHITE CEDAR	22	25	AVERAGE	AVERAGE	EXISTING TREE TO REMAIN

EXISTING TREE TO REMAIN: 23

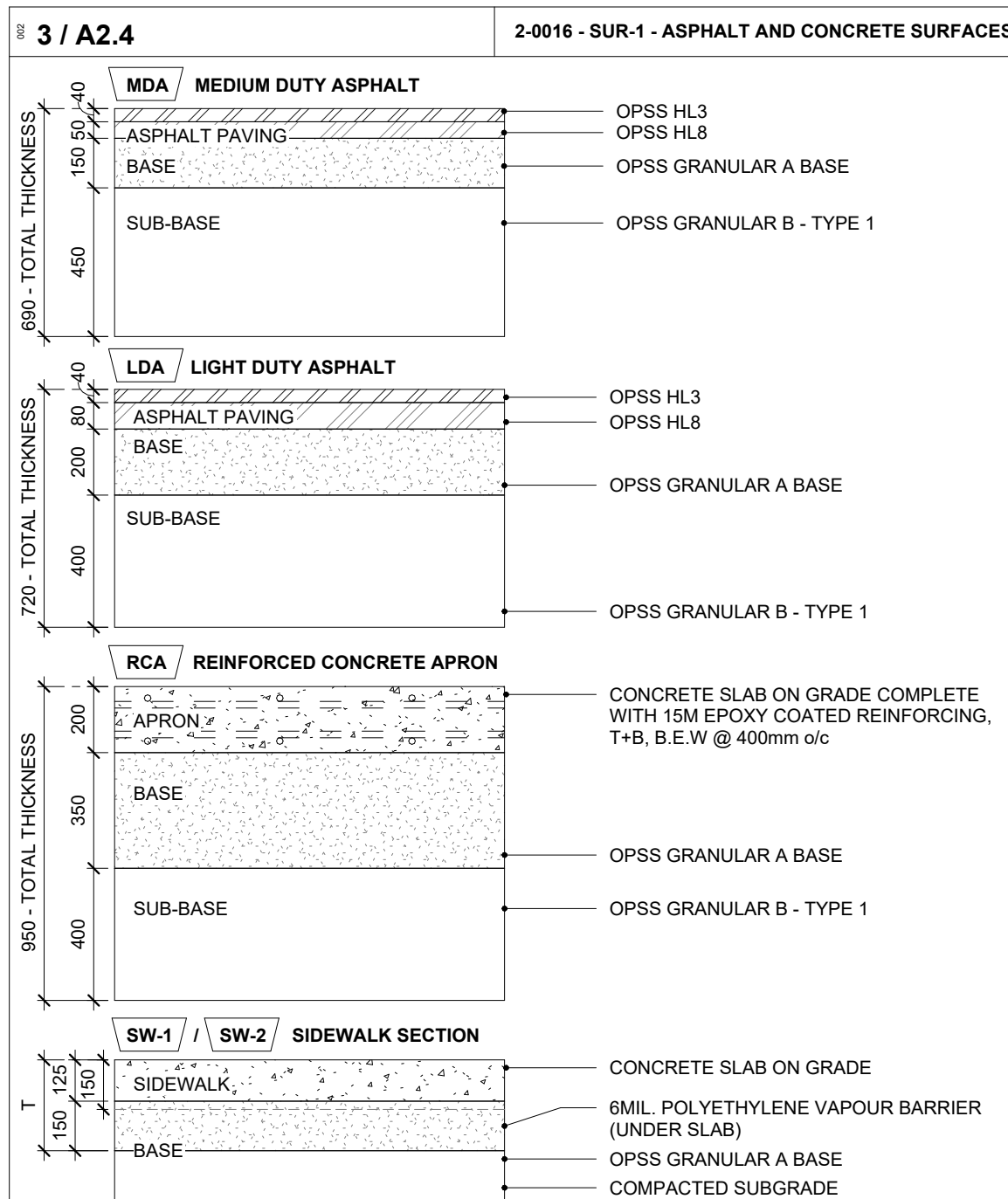
GENERAL NOTES:

- THE TREE PROTECTION BARRIERS SHALL BE INSTALLED AT THE APPROVED LOCATION AND SHALL BE MAINTAINED IN THEIR ORIGINAL LOCATION AND CONDITION UNTIL ALL CONSTRUCTION ACTIVITIES WITHIN THE SITE HAVE CEASED AND ALL EQUIPMENT IS REMOVED FROM THE SITE. NO EQUIPMENT OR MATERIAL STORAGE, FLUSHING OF FUEL OR WASHING OF EQUIPMENT IS ALLOWED WITHIN THE TPZ. ANY WORKS WITHIN THE TPZ AREA IS TO BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
- ANY WORK REQUIRED TO BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST SHALL BE PAID FOR BY THE GENERAL CONTRACTOR UNDER THE SCOPE OF THE CONTRACT.
- TREE PROTECTION FENCING IS TO BE INSTALLED TO MINIMIZE THE IMPACT ON THE TREES (OVER 20CM DBH) TO BE PRESERVED PRIOR DEMOLITION/CONSTRUCTION AND IS TO REMAIN UNTIL THE CONSTRUCTION IS COMPLETED. (APPLICABLE TO PRIVATE AND PUBLIC TREES) AS PER BY-LAW 052-2018.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, EXCAVATIONS OF ANY KIND OR MATERIAL STORAGE IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- TREE PROTECTION & PRESERVATION METHODS MUST BE FOLLOWED ACCORDING TO CITY OF VAUGHAN'S TREE PROTECTION BY-LAW 052-2018.
- CONTRACTOR SHALL NOTIFY VAUGHAN FORESTRY OR DEVELOPMENT PLANNING DEPARTMENT ONCE TREE PROTECTION (HOARDING) HAS BEEN INSTALLED, TO ALLOW VAUGHAN FORESTRY TO INSPECT AND APPROVE ACCORDING TO BY-LAW 052-2018 AND/OR IN ACCORDANCE WITH THE CITY OF VAUGHAN'S TREE PROTECTION PROTOCOL (2018). CONTRACTOR SHALL SUBMIT APPROVAL LETTER TO THOMAS BROWN ARCHITECT INC. ONCE RECEIVED FROM FORESTRY.



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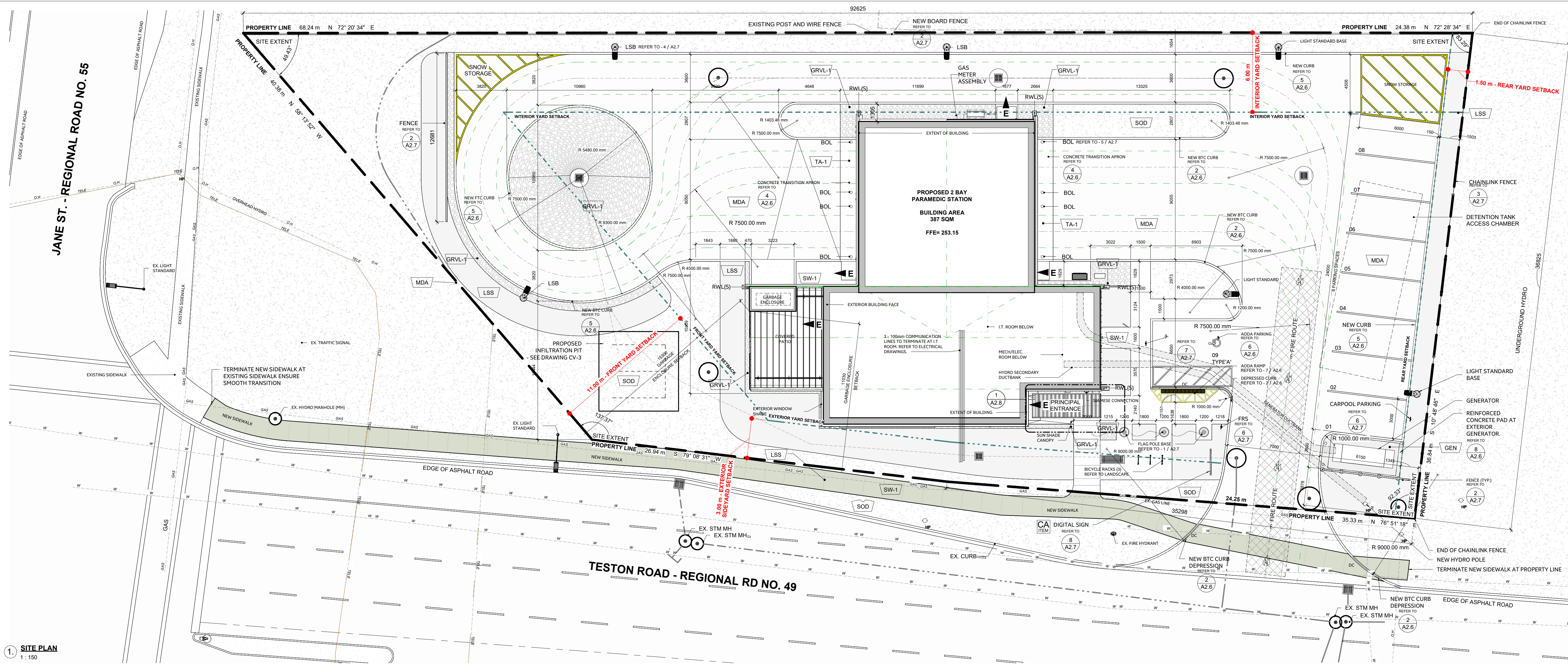
PROJECT SITE STATISTICS DATA					
ZONING INFORMATION					
ITEM	DESCRIPTION	DESCRIPTION			
1	ZONING BY-LAW	BY-LAW 1-88			
2	ZONING CATEGORY	AGRICULTURE (A)			
3	PERMITTED USES	PUBLIC BUILDING			
4	LOT AND PLAN NUMBER	PRT LOT 6 - PRT 283, CONC. 4, Plan 65R-25880			
LOT REQUIREMENTS		REQUIRED		PROPOSED	
5	LOT AREA	2,588.00	m²	2,588.00	m²
6	LOT FRONTAGE MINIMUM	N/R	m	N/R	m
7	LOT COVERAGE MAXIMUM %	20.00	%	14.91	%
8	LANDSCAPED AREA MINIMUM	258.80	m²	730.42	m²
9	GREEN ROOF AREA	N/R	m²	N/A	m²
10	FRONT YARD LANDSCAPE MINIMUM	N/R	%	N/R	%
11	HARDSCAPED AREA (HIGH ALBEDO)	N/R	m²	151.00	m²
12	PAVED AREA	N/R	m²	1,320.58	m²
PRINCIPAL BUILDING REQUIREMENTS		REQUIRED		PROPOSED	
13	BUILDING HEIGHT MAXIMUM	11.00	m	6.00	m
14	FLOOR SPACE INDEX	0.20	FSI	0.15	FSI
15	BUILDING FOOTPRINT	517.60	m²	386.00	m²
16	GROSS BUILDING AREA	N/R	m²	386.00	m²
17	ESTABLISHED GRADE	N/R	m		m
PARKING / LOADING / BICYCLE SPACES		REQUIRED		PROPOSED	
18	PARKING SPACES	13		9	
19	PARKING SPACES FOR PERSONS WITH...	1		1	
20	BICYCLE PARKING	2		2	
21	LOADING SPACES	N/R		0	
BUILDING TO PROPERTY SETBACKS		REQUIRED		PROPOSED	
22	FRONT YARD SETBACK (PER MV A064(21))	11.00	m	11.00	m
23	SIDE YARD SETBACK (PER MV A064(21))	3.00	m	3.00	m
24	REAR YARD SETBACK (PER MV A064(21))	1.5	m	1.50	m
25	SIDE YARD SETBACK (PER MV A064(21))	6.00	m	6.00	m
LANDSCAPE BUFFER PROPERTY SETBACKS		REQUIRED		PROPOSED	
26	LANDSCAPE SETBACK FRONT YARD	6.00	m	3.00	m
27	LANDSCAPE SETBACK SIDE YARD	0.00	m	1.50	m
28	LANDSCAPE SETBACK REAR YARD	0.00	m	3.00	m
29	LANDSCAPE SETBACK SIDE YARD	0.00	m	3.00	m



NOTE:
SW-1 SIDEWALK - 150 CONCRETE SLAB ON GRADE - TOTAL THICKNESS (T) 300MM
SW-2 SIDEWALK - 200 CONCRETE SLAB ON GRADE - TOTAL THICKNESS (T) 350MM
THICKNESS INCREASED TO 200MM OR AS REQ'D TO MEET MUNICIPAL REQUIREMENT AT DRIVEWAY ENTRANCES. CONFIRM MUNICIPAL REQUIREMENTS PRIOR TO PROCEEDING.

- NOTES:
1. REFER ALSO TO GEOTECHNICAL REPORT(S) TO CONFIRM LAYER THICKNESSES. REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING.
2. CONCRETE SHALL BE CLASS C2, 32MPa, 5-8% AIR CONTENT WITH A MAX. SLUMP OF 80MM

- 2 / A2.4** A700 GENERAL NOTES - SITE PLAN
- THE CONTRACT CONSISTS OF ALL WORK WITH-IN THE 'PROPERTY LINE' AND/OR 'SITE EXTENTS' LINE AS INDICATED PLUS ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE OR AS REQUIRED TO DELIVER A OPERATIONAL, FUNCTIONING PROJECT.
 - THE TERM 'SITE EXTENTS' REFERS TO THE AREA THAT THE CONTRACTOR IS REQUIRED TO ENCLOSE WITH CONSTRUCTION FENCING FOR THE DURATION OF THE WORK.
 - ALL WORK DONE OUTSIDE OF THESE LIMITS MUST BE EXECUTED IN STRICT ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY AND ALL OTHER AUTHORITIES HAVING JURISDICTION. MAKE GOOD AT NO ADDITIONAL COST TO THE OWNER OR MUNICIPALITY ANY DAMAGE CAUSED BY THIS CONSTRUCTION TO MATERIALS OR FINISHES BEYOND THE 'PROPERTY LINE' INDICATED.
 - CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT AND MATERIALS STORAGE TO AREA(S) WITHIN THE 'PROPERTY LINE' EXCEPT WHERE NOTED OTHERWISE. PRIMARY SITE ACCESS POINT & CONSTRUCTION PARKING IS TO BE CONFIRMED WITH OWNER. NO PARKING IS PERMITTED IN THE MUNICIPAL RIGHT-OF-WAY.
 - LOCATE EXCAVATED MATERIALS & TOPSOIL PILES SO AS NOT TO IMPEDE PROGRESS OF THE WORK OR AS DIRECTED. 'DOUBLE HANDLING' OF MATERIALS AS A RESULT OF CONTRACTOR PLANNING OR EXECUTION OF THE WORK WILL NOT BE CONSIDERED AS A BASIS FOR CLAIM. AT COMPLETION OF THE PROJECT, ANY EXCESS MATERIAL IS TO BE REMOVED AND AREA MADE GOOD TO CONSULTANTS SATISFACTION.
 - FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY REFER TO APPROPRIATE SPECIFICATION SECTIONS AND DRAWINGS. TRENCHING & BACKFILLING NOT IDENTIFIED BY A PARTICULAR SUB-TRADE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE TRENCHING AND BACKFILLING. GRADE FINISHED WORK TO MATCH SURROUNDING SURFACES.
 - NOTE THAT THE EXACT LOCATIONS OF ALL NEW MECHANICAL & ELECTRICAL ITEMS ARE APPROXIMATE UNLESS DIMENSIONS ARE GIVEN. ADJUST LOCATIONS AS REQUIRED AND AS APPROVED BY CONSULTANT TO SUIT SITE CONDITIONS.
 - NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND AND ABOVEGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE INDICATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT TYPES, LOCATIONS, DEPTHS AND MARKING ALL UNDERGROUND AND ABOVEGROUND SERVICES WITHIN ALL AREAS OF CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO GAS LINES, WATER LINES, ELECTRICAL LINES, TELEPHONE, CABLE TV ETC. VERIFY EXACT LOCATIONS WITH THE APPROPRIATE AUTHORITIES BEFORE EXCAVATING.
 - PRIOR TO COMMENCING WORK TO PLACE VERTICAL ELEMENTS SUCH AS FLAGPOLES AND LIGHT STANDARDS ENSURE ADEQUATE CLEARANCE FROM EXISTING ABOVE GROUND ELEMENTS SUCH AS OVERHEAD WIRES CABLES ETC. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - ALL FINISHED PAVING AND GRADING TO BE TO NEW LEVELS SHOWN. ALL DRAINAGE TO BE POSITIVE. LEAVING NO POCKETS IN FINISHED GRADE. FINISHED GRADING TO SLOPE MINIMUM 1:12 AND ASPHALT TO SLOPE MAX 1:10 AWAY FROM BUILDING UNLESS SHOWN OTHERWISE. NEW GRADES TO MEET EXISTING GRADES FALLING AWAY FROM BUILDING AND FEATHERED OUT EVENLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF CONSTRUCTION TO FACILITATE AS-BUILT DRAWINGS.
 - CO-ORDINATE ALL WORK NOTED HERE WITH THE SPECIFICATION DOCUMENTS - FOR GENERAL REQUIREMENTS, EXISTING CONDITIONS, EXCAVATION & BACKFILLING, LANDSCAPING, ETC AS REQUIRED FOR COMPLETE SITE RELATED WORK.



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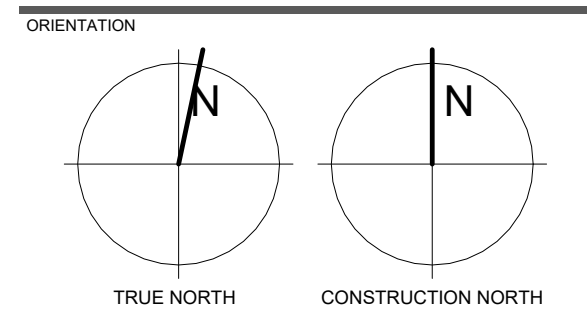
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NO.	ISSUED FOR	DATE
19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
22	ADDENDUM #7	2026-01-21
23	PERMIT FR ON PLNS	2026-02-05
24	ADDENDUM #8	2026-02-09
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT: **YORK REGION PRS #33 RFTC**
397-21
CLIENT: **2960 TESTON ROAD, VAUGHAN**

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PROFESSIONAL SEAL

DWG TITLE: **SITE PLAN & SITE STATISTICS**



DATE	2020-11-18
PROJECT NO.	1622
DRAWING NO.	A2.4
REVISION	25

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NO.	ISSUED FOR	DATE
11	SPA SUBMISSION 2	2023.06.05
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT :

YORK REGION PRS #33 RFTC

397-21

CLIENT

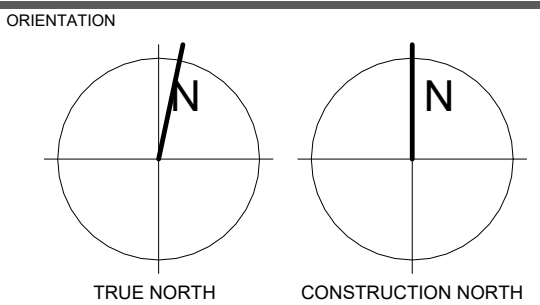
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DWG TITLE
LAYOUT PLAN - SITE



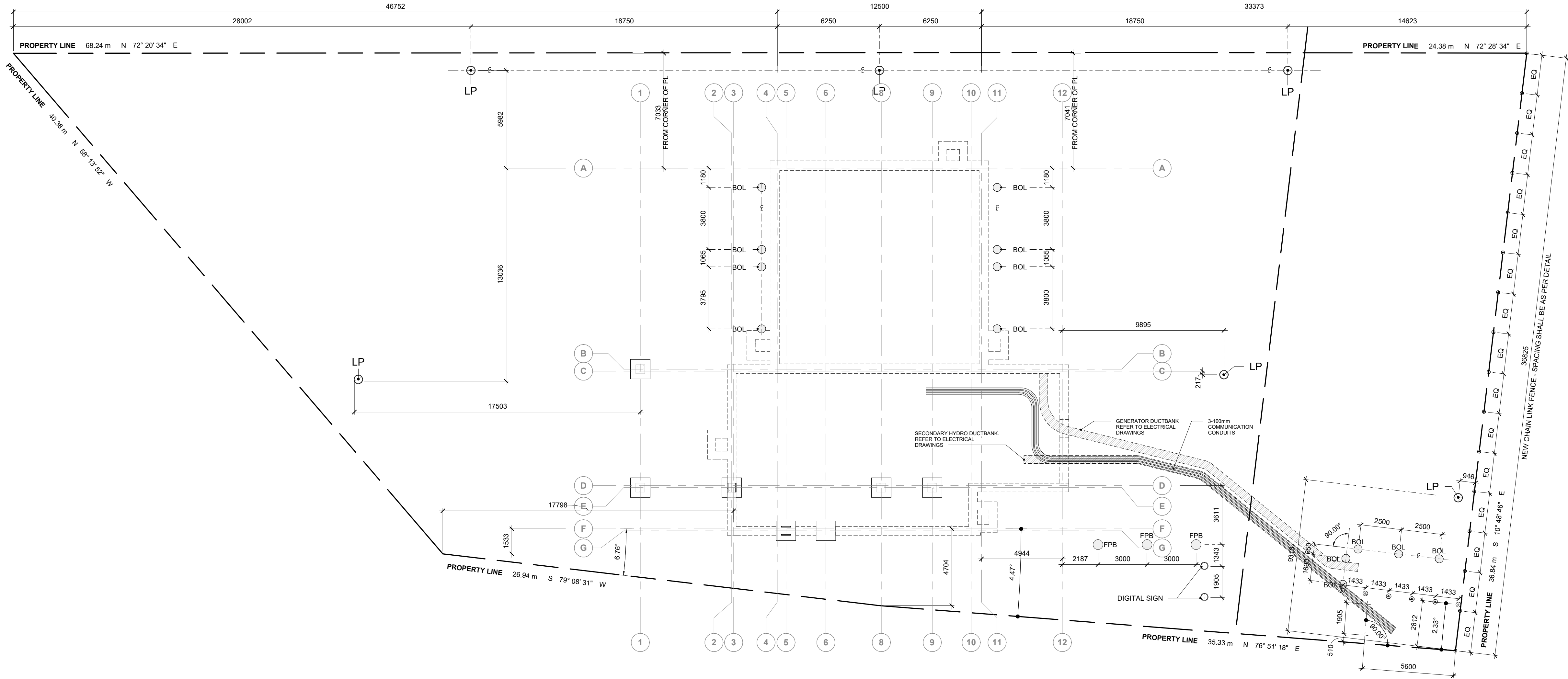
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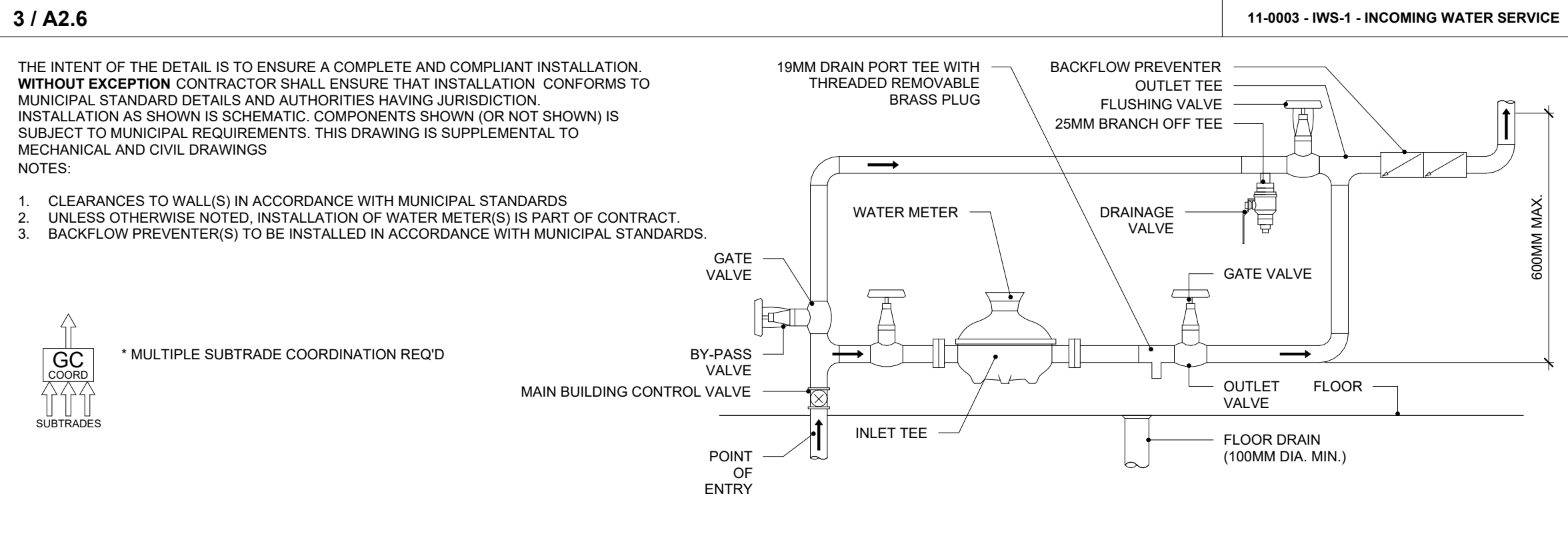
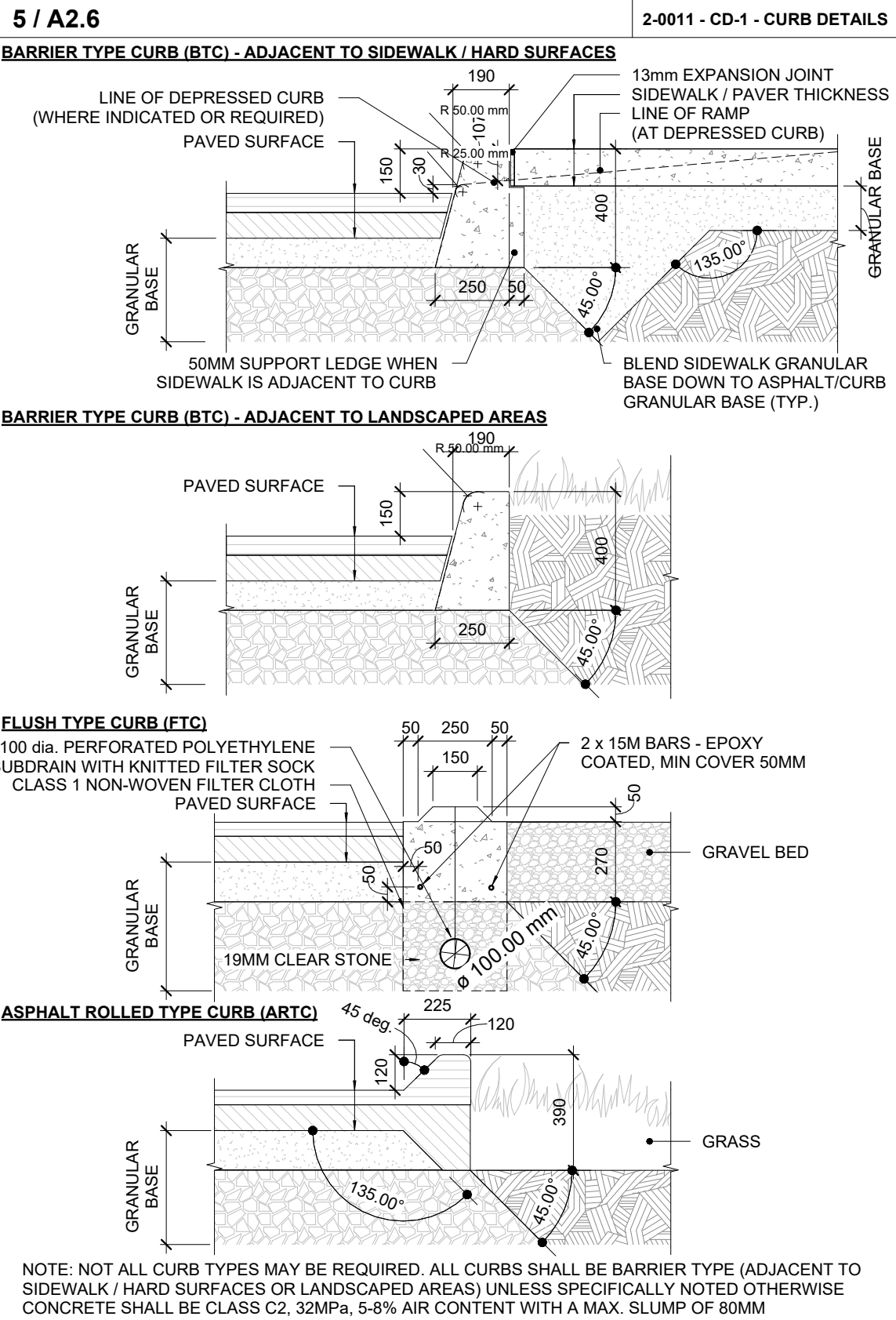
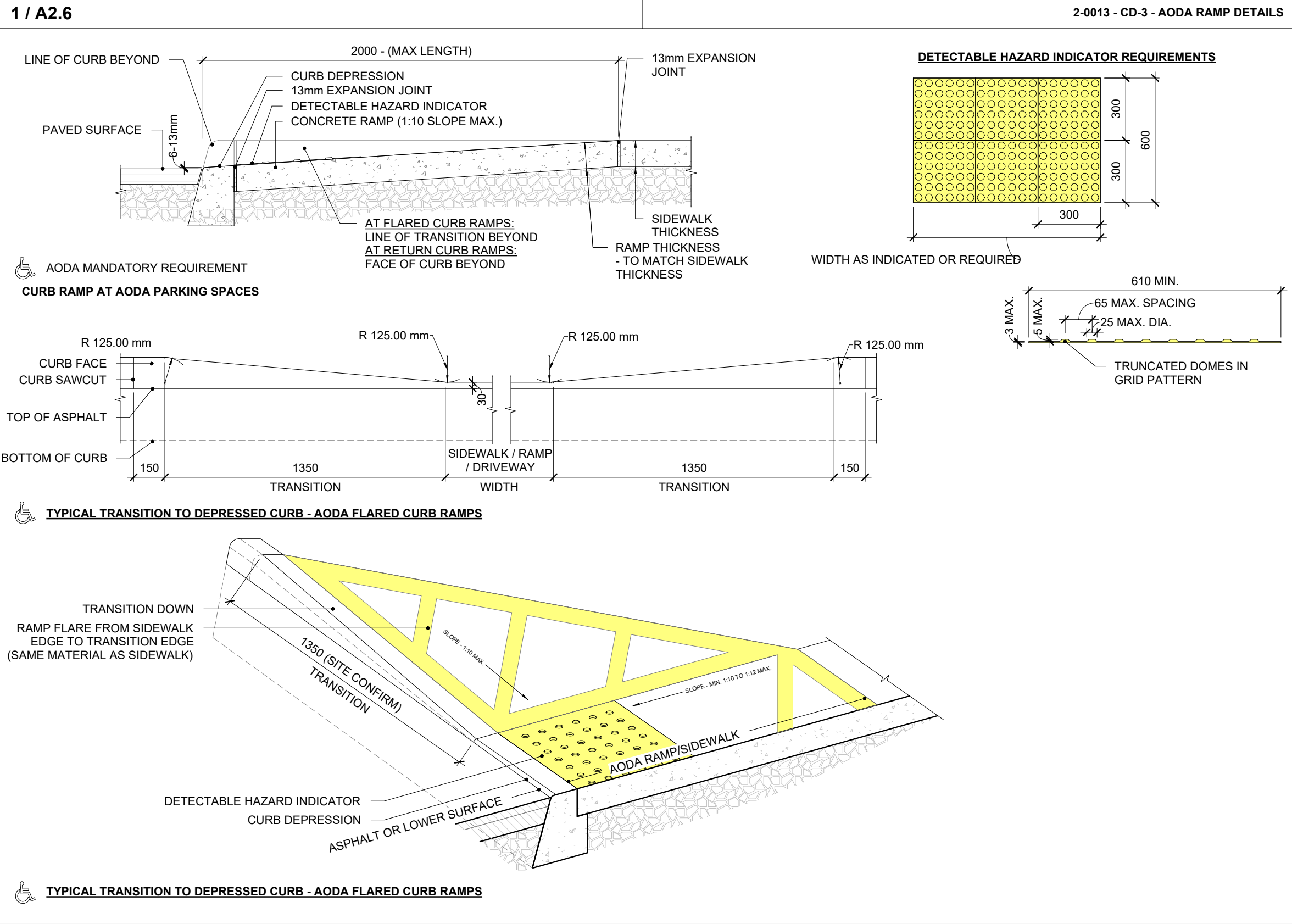
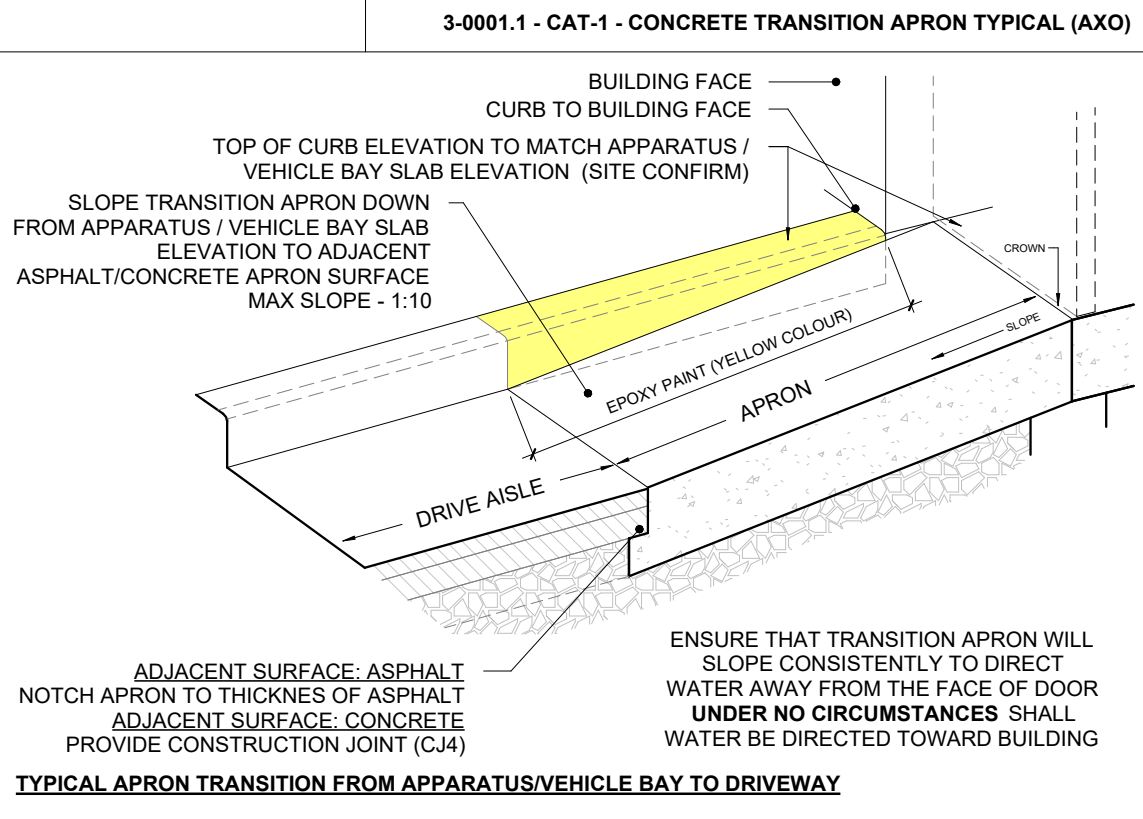
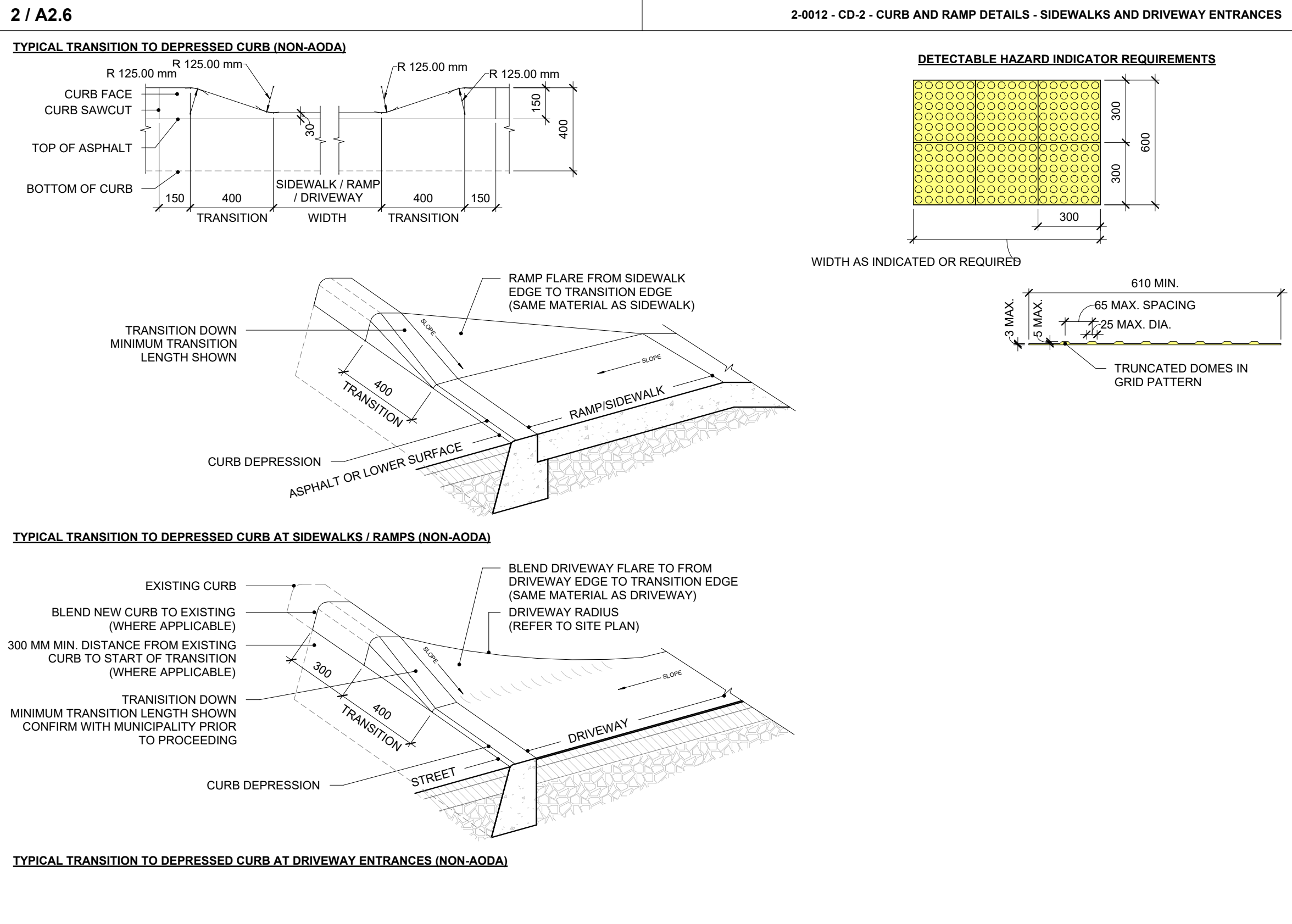
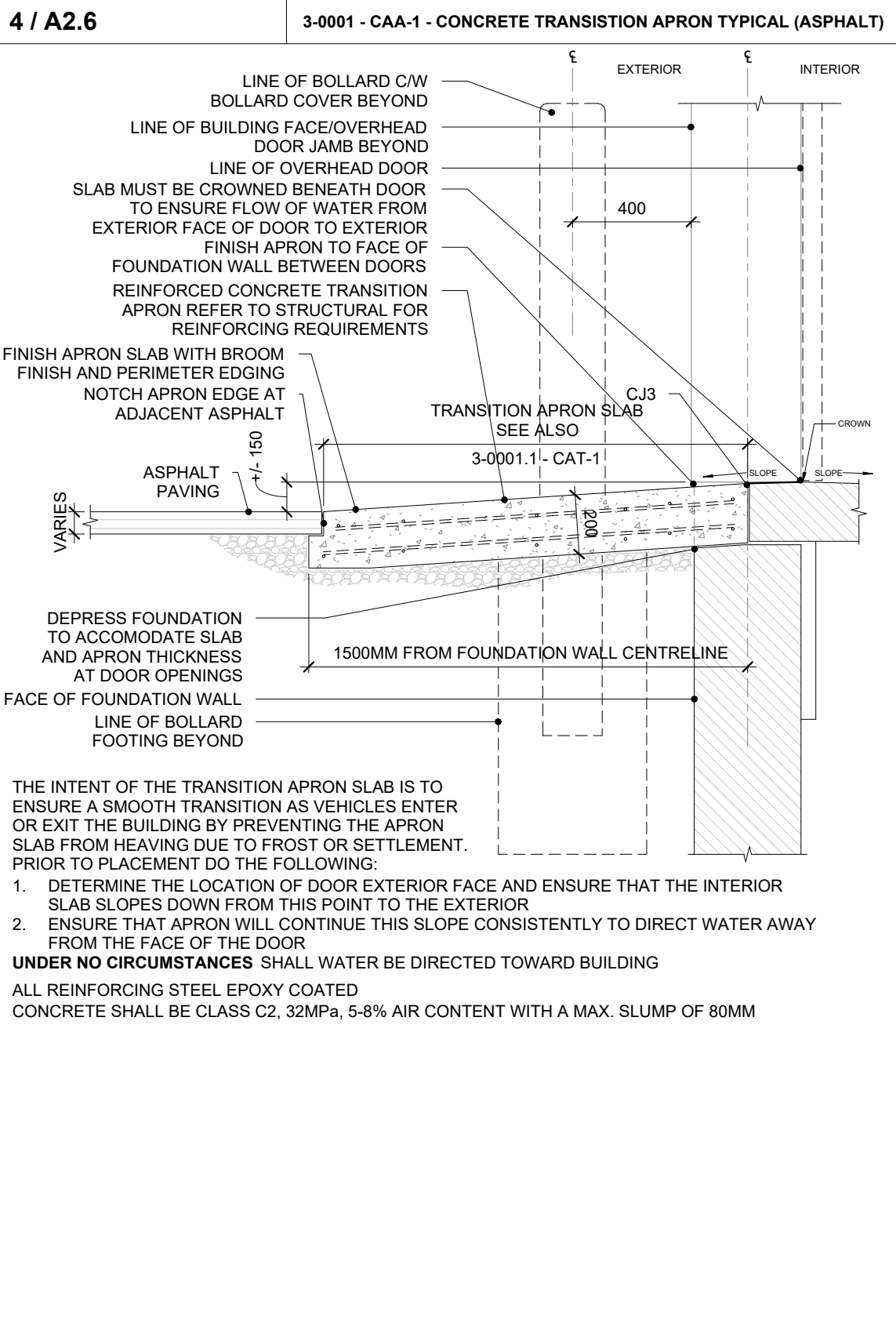
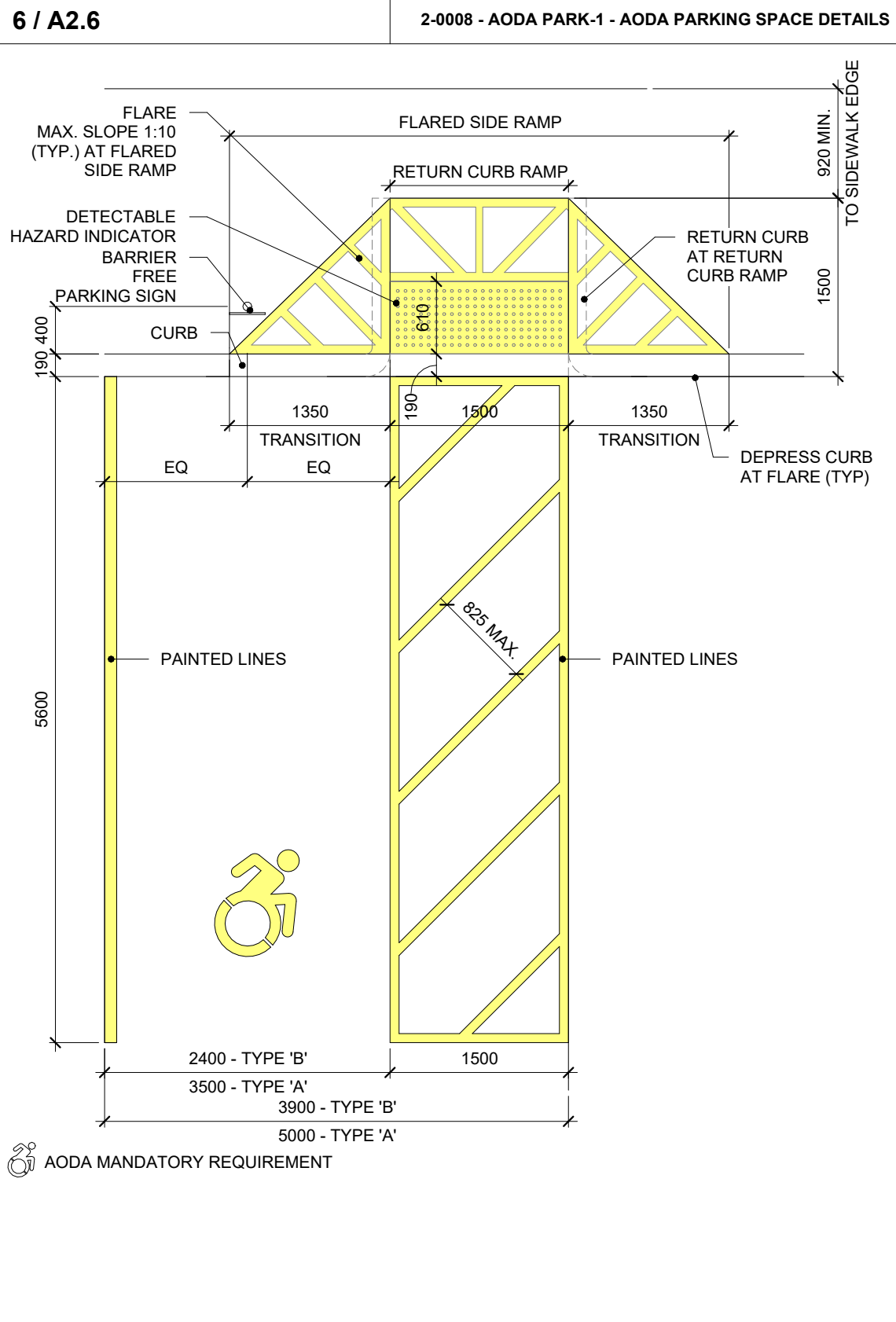
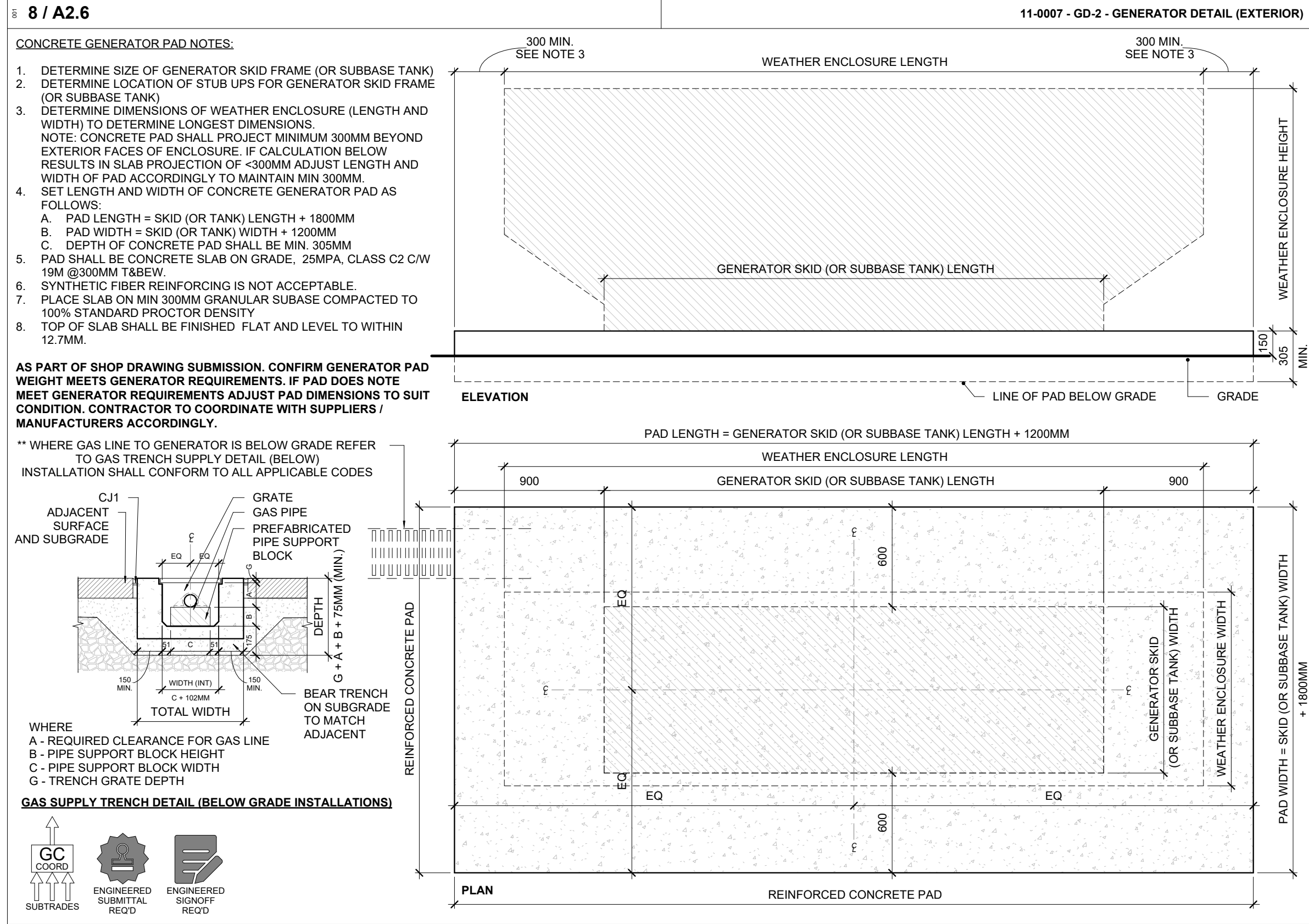
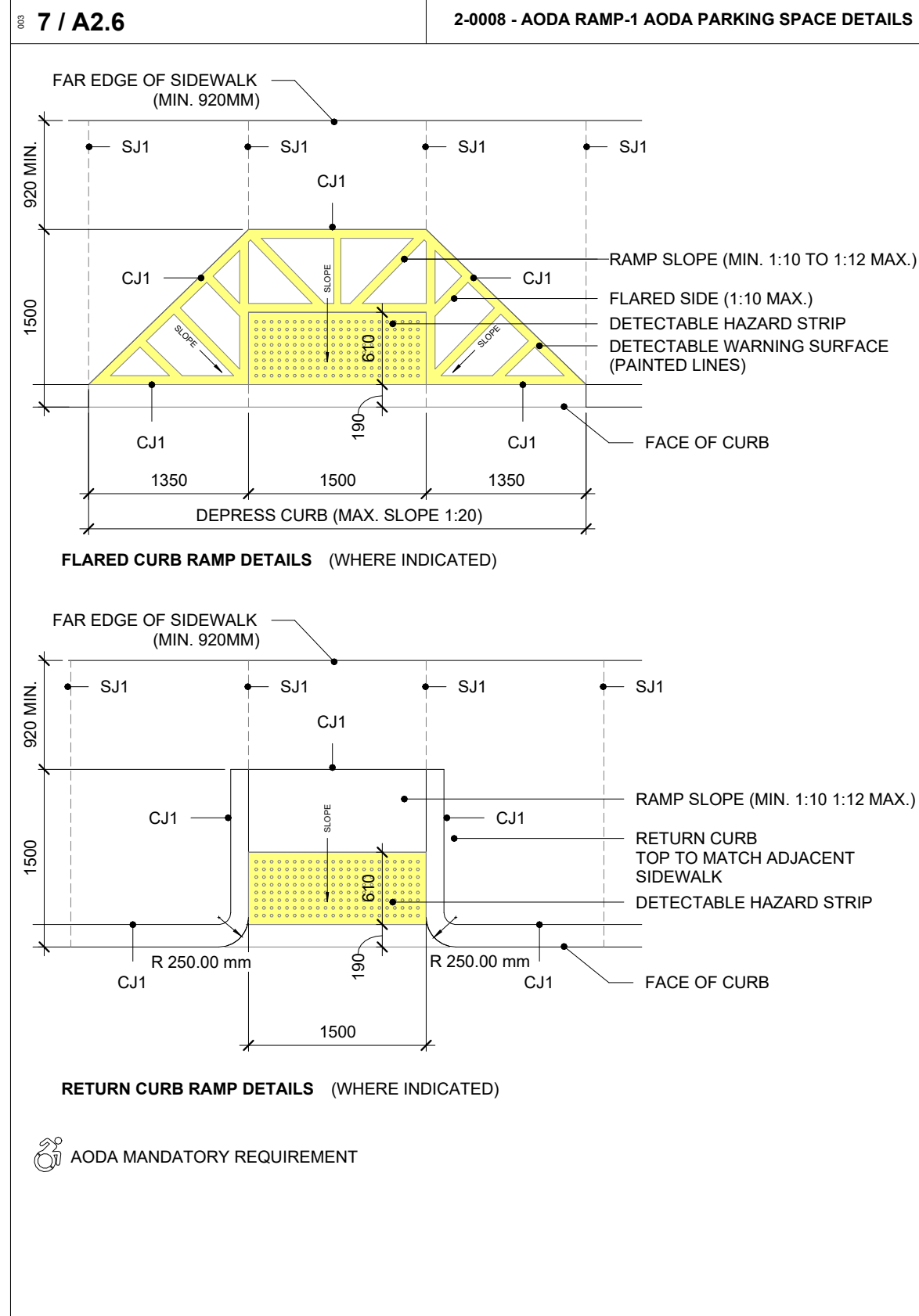
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1622

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1 LAYOUT PLAN - SITE PLAN
1 : 150





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12	BUILDING PERMIT	2023.07.07
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19	TENDER	2025-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

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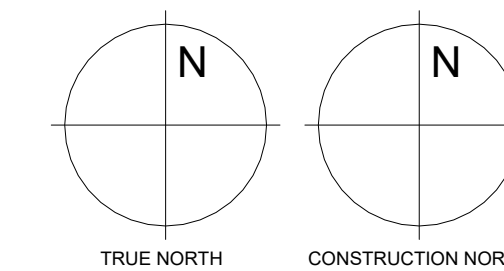
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PROFESSIONAL SEAL

DWG TITLE

SITE PLAN DETAILS

ORIENTATION



DATE 2020-11-18

PROJECT No.

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DRAWING No.

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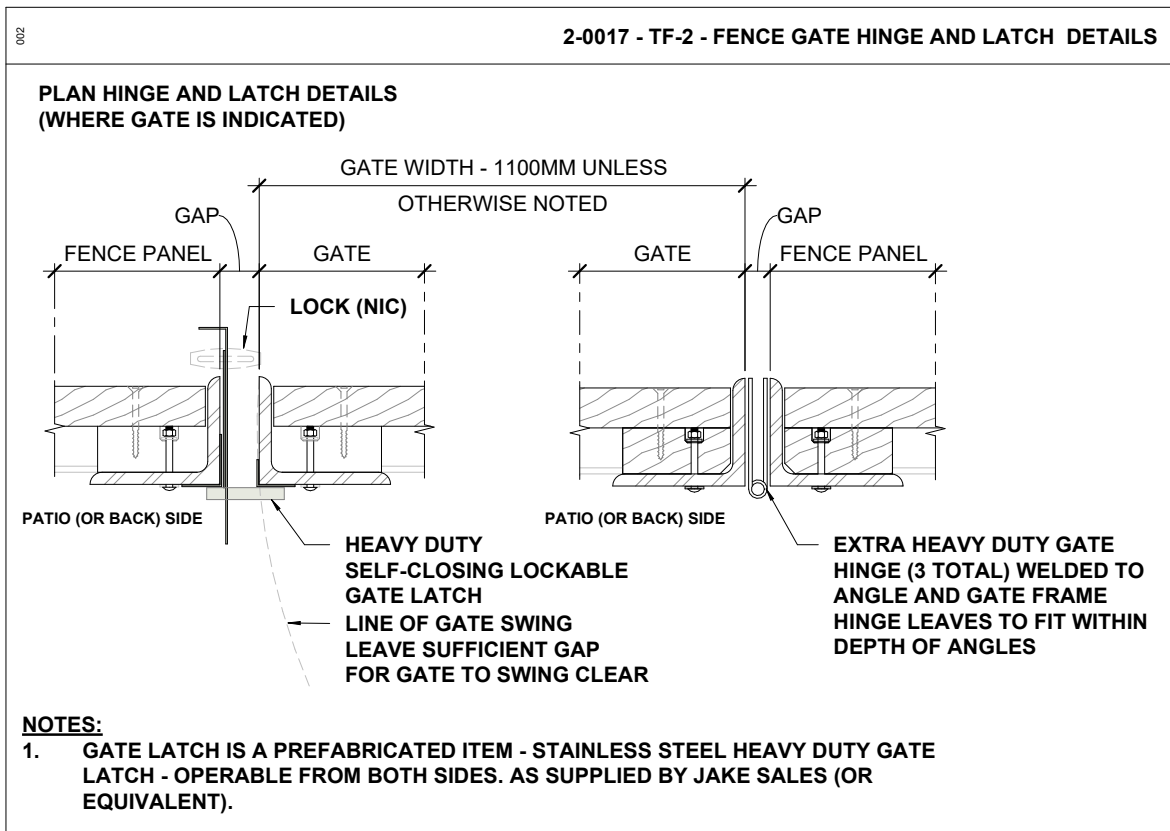
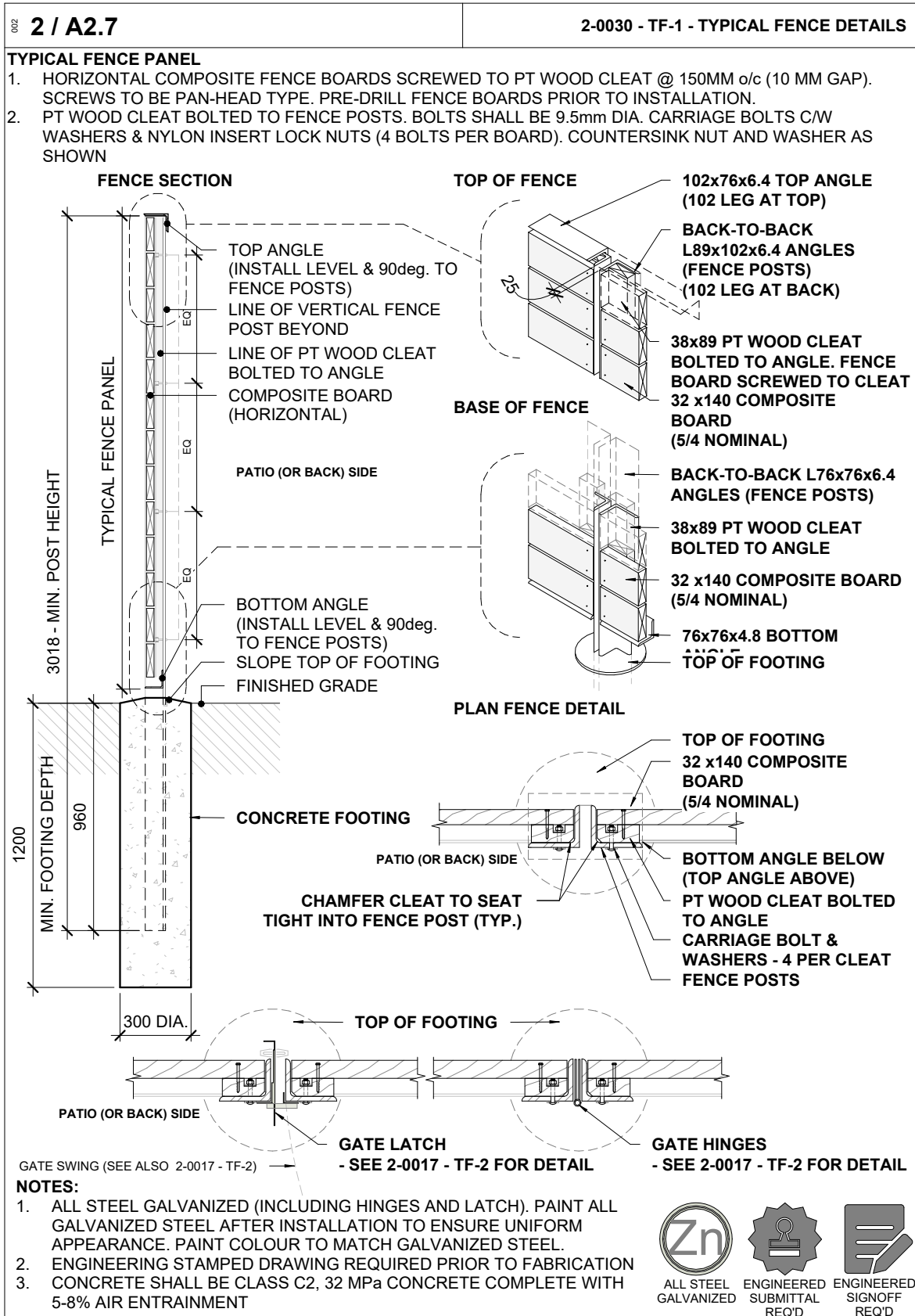
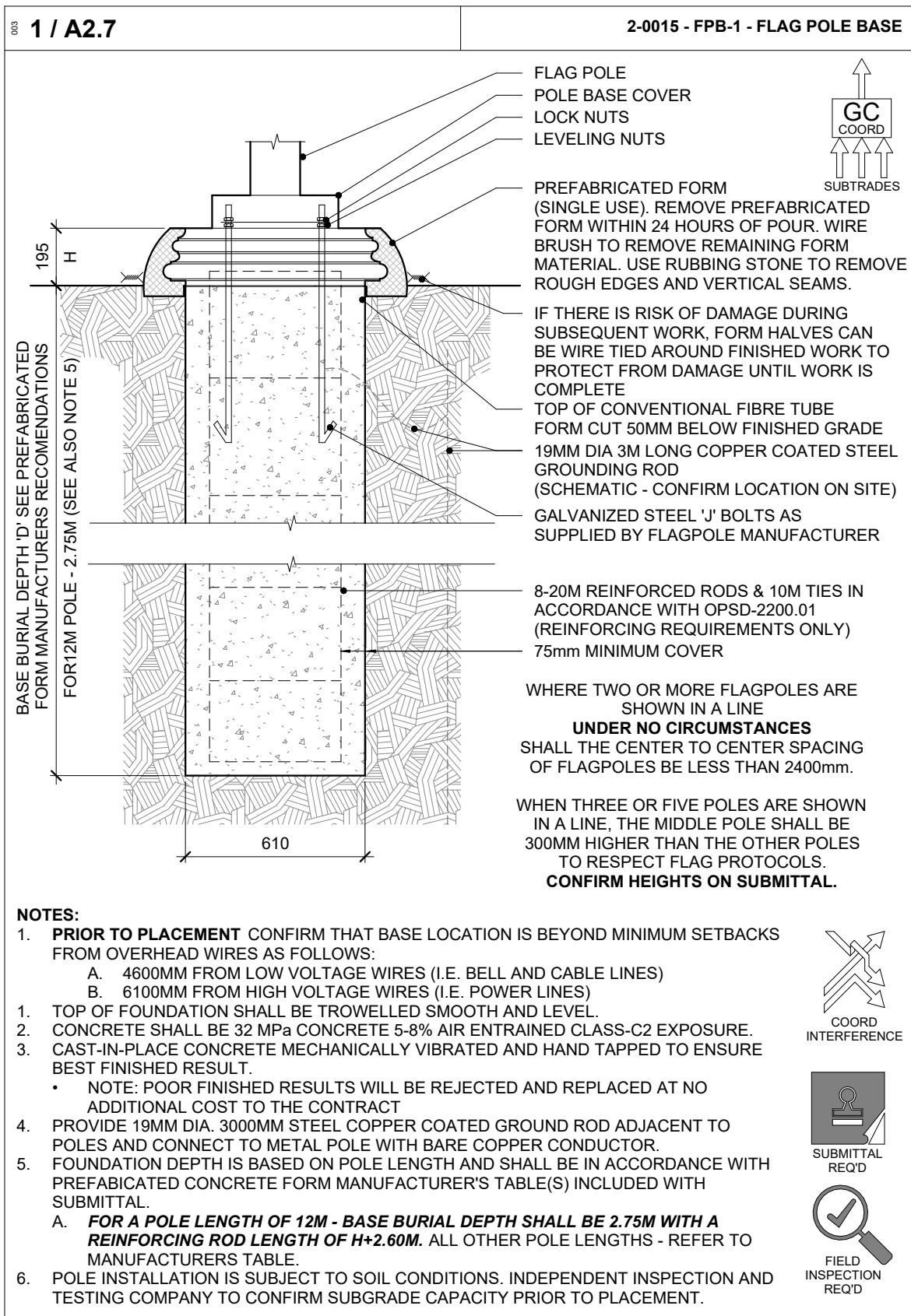
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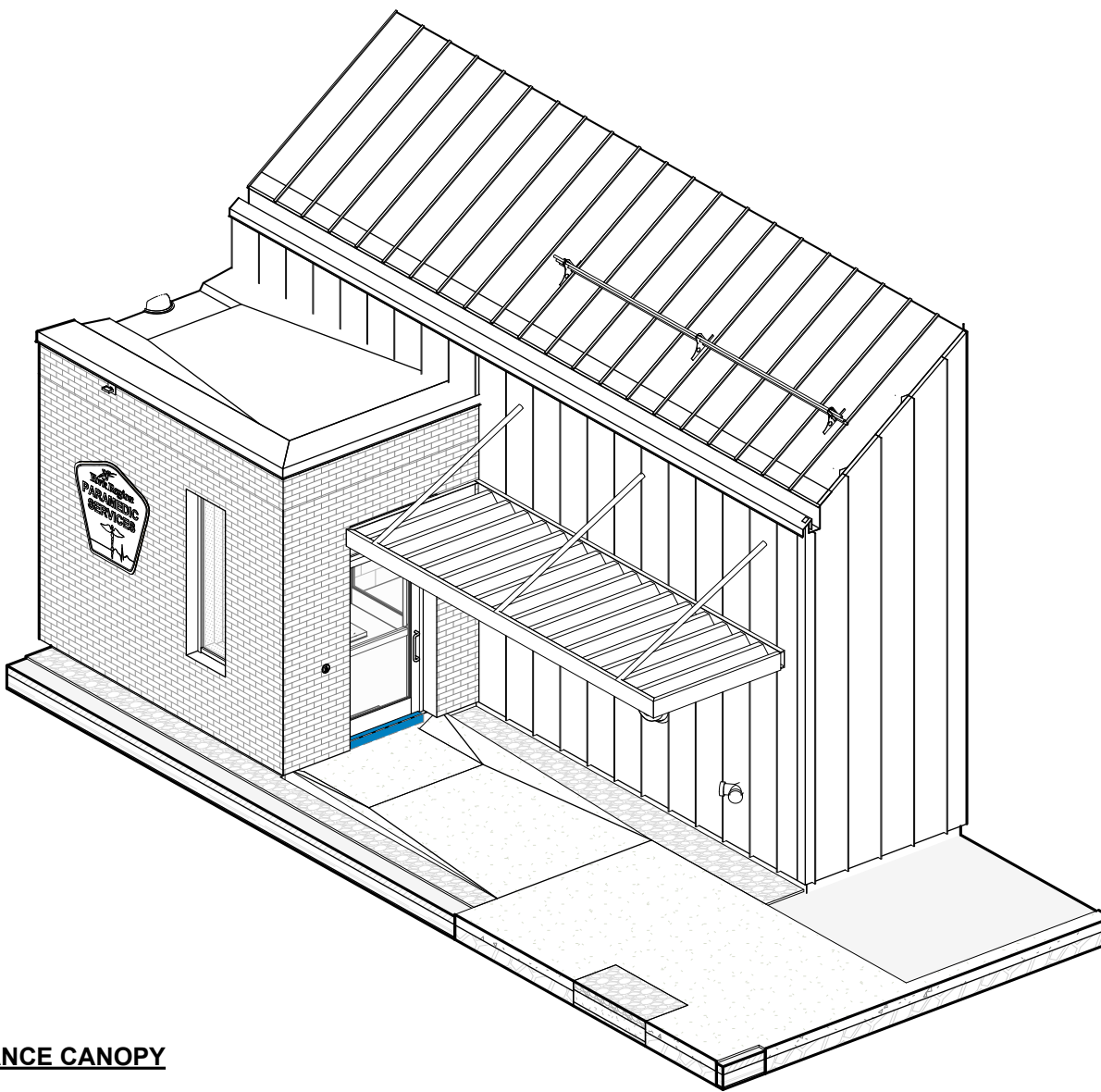
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397-21

2960 TESTON ROAD, VAUGHAN

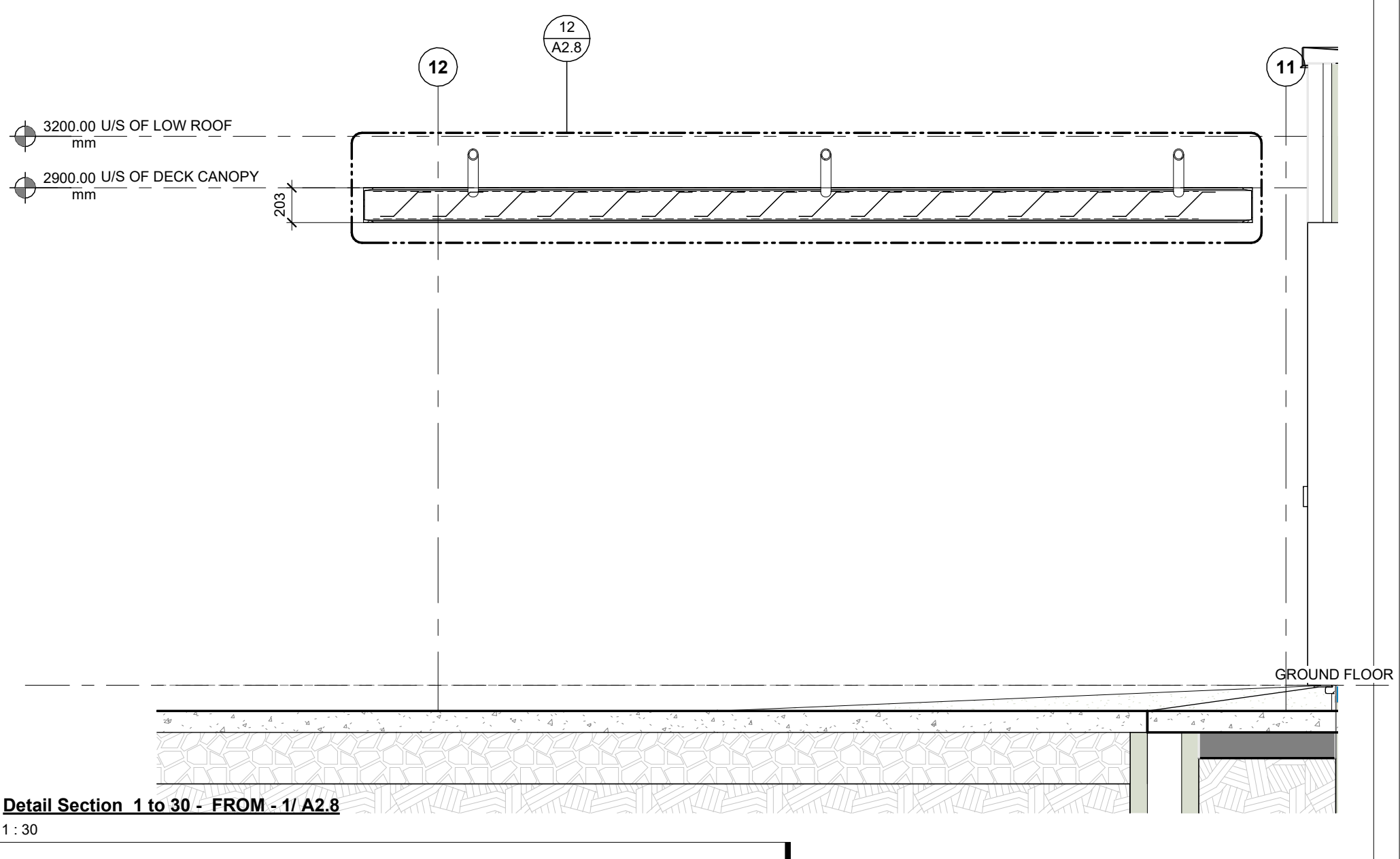


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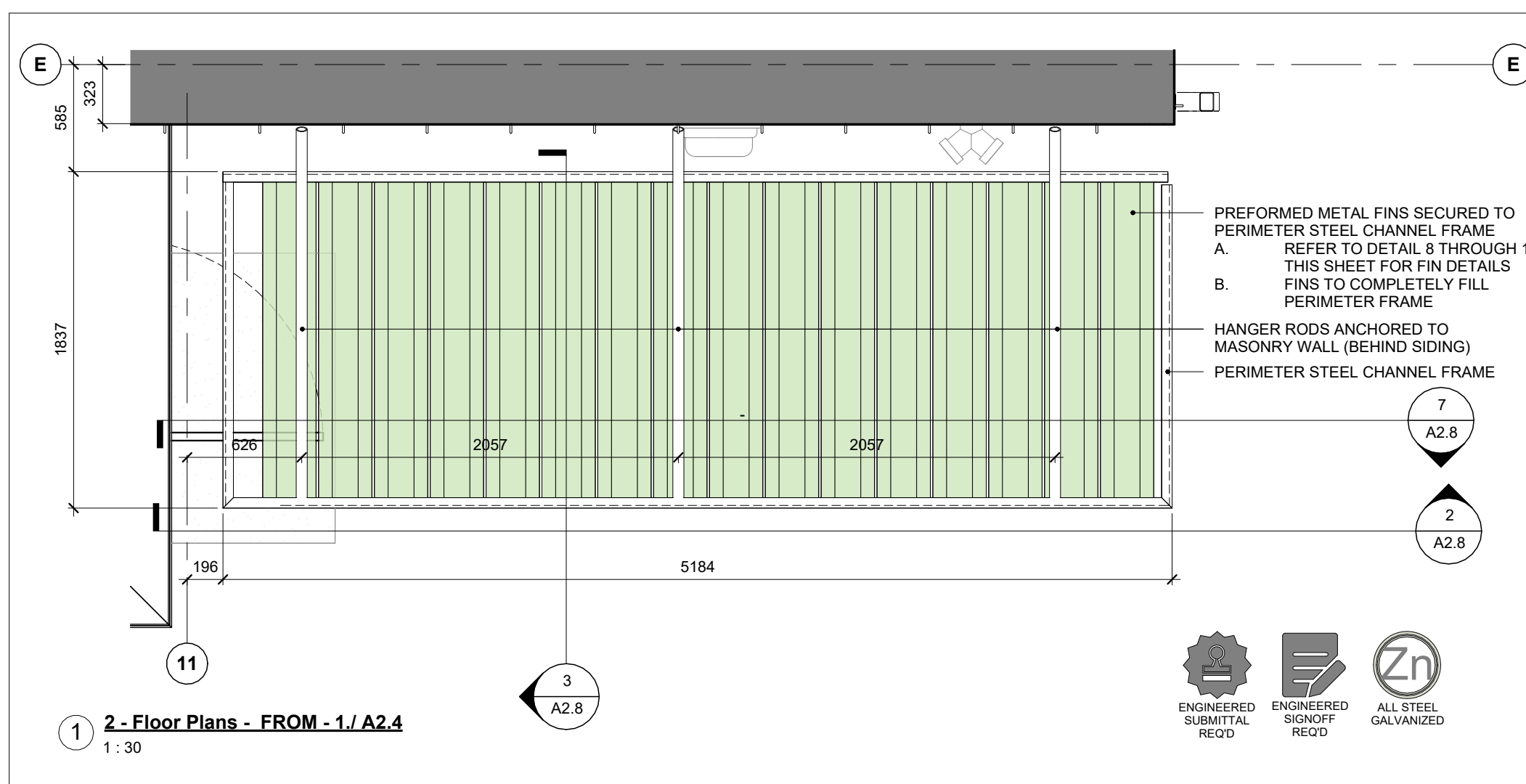
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NO.	ISSUED FOR	DATE
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
18	100% CLIENT REVIEW	2024-09-05
19	TENDER	2025-10-30
24	ADDENDUM #8	2026-02-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03



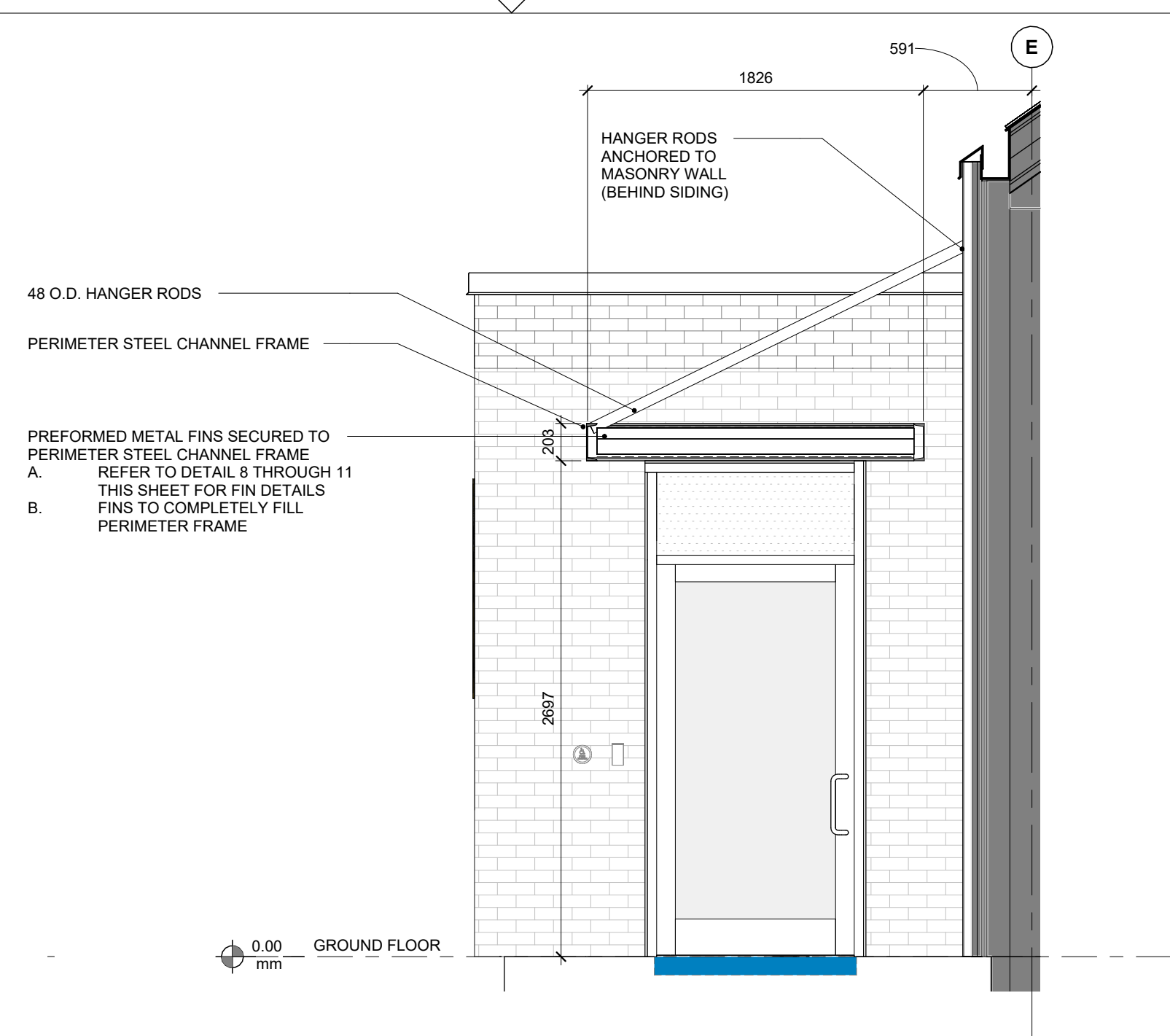
5 ENTRANCE CANOPY



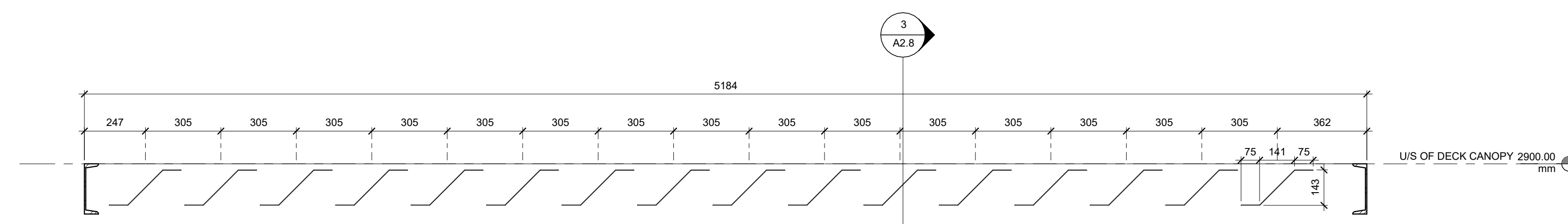
7 **Detail Section 1 to 30 - FROM - 1/ A2.8**
1 : 30



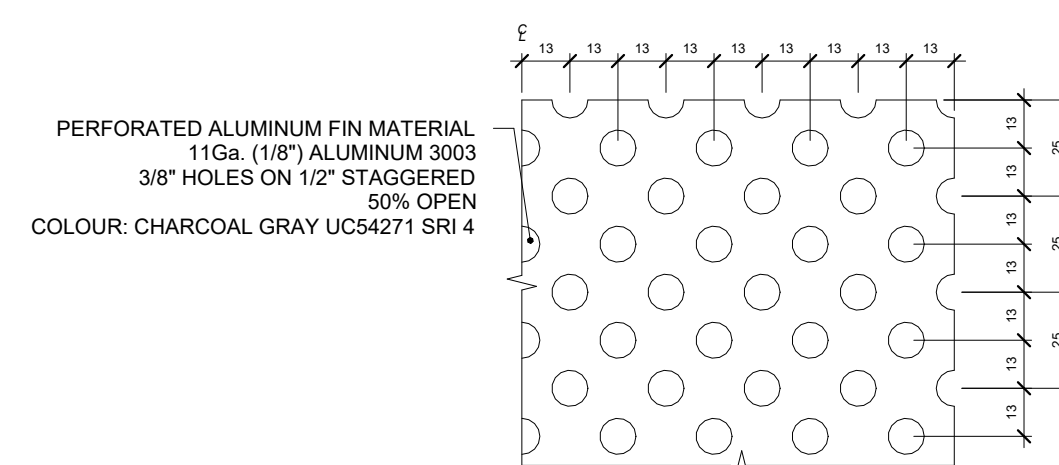
1 **2 - Floor Plans - FROM - 1./ A2.4**
1 : 30



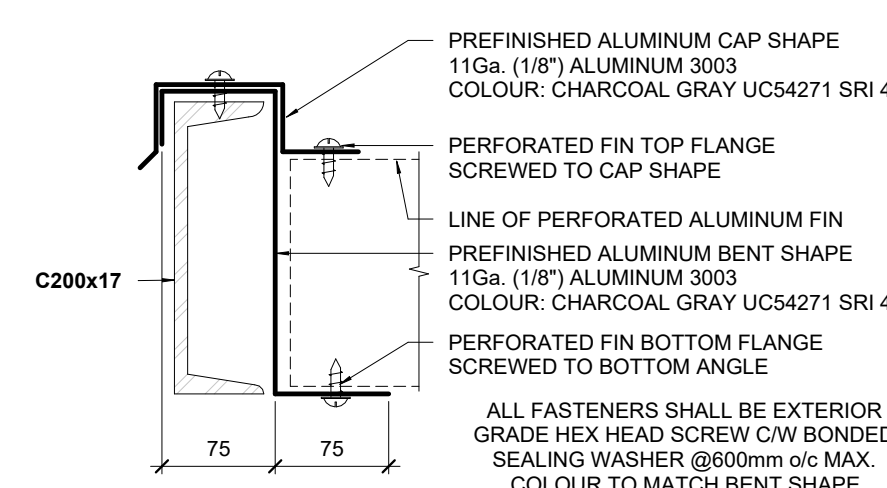
③ **Detail Section 1 to 30 - FROM - 1/ A2.8**
1 : 30



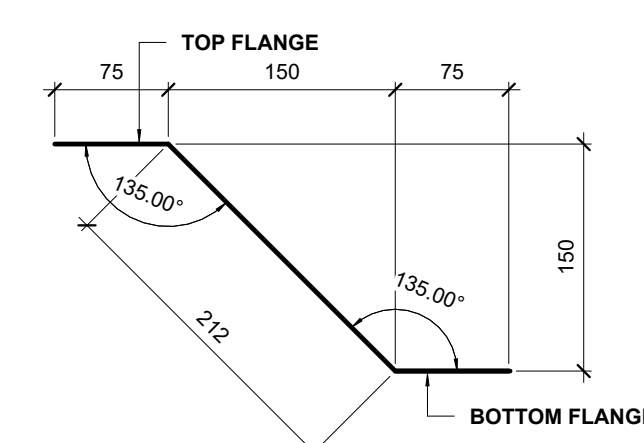
12 Wall Section 1 to 25 - FROM - 7/ A2.8
1:15



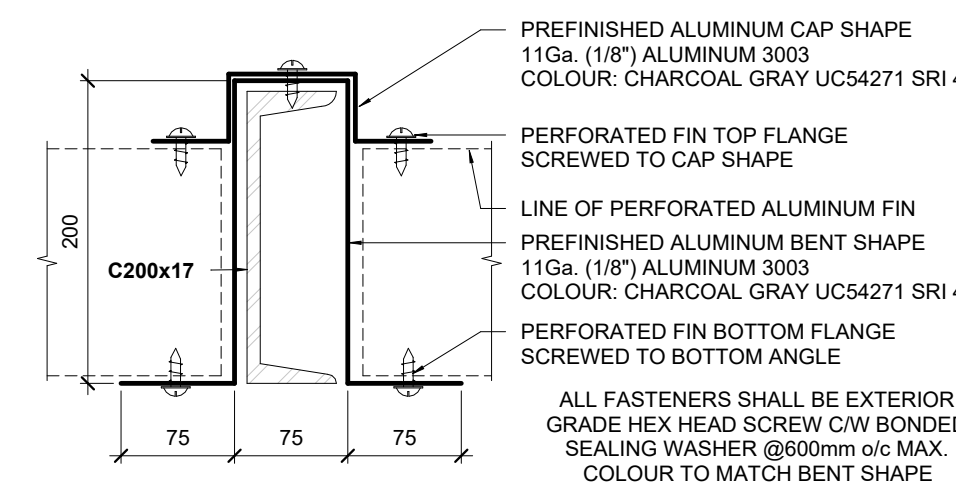
9 **PERFORATED ALUMINUM FIN PATTERN DETAIL**
1:2



11 PERIMETER HANGER HAT DETAIL
1:5



10 **PERFORATED FIN SECTION**
1:5



8 **INTERMEDIATE HANGER HAT DETAIL**
1:5

PROJECT:

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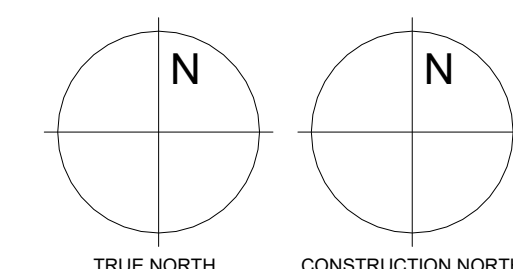
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PROFESSIONAL SEAL

DWG TITLE

CANOPY DETAILS/ FOUNDATION & ROOF PLANS

ORIENTATION



DATE 2020-11-18

PROJECT No. 1622

1022
DRAWING No.

2960 TESTON ROAD, VAUGHAN

**YORK REGION PRS #33 RFTC
397-21**

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19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

**YORK REGION PRS #33 RFTC
397-21**

2960 TESTON ROAD, VAUGHAN

PROJECT :
CLIENT :

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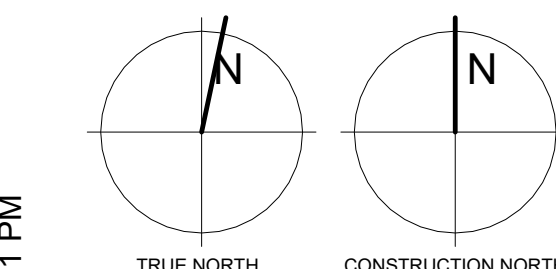
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DWG TITLE

FOUNDATION PLAN

ORIENTATION



DATE 2020-11-18

PROJECT No. _____

PROJECT No. **1622**

26 DRAWING No.

A3.1

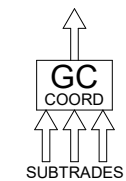
26 DRAWING No.

REVISION
25

2 / A3.1

A700 GENERAL NOTES - FOUNDATION PLAN

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH FOUNDATION PLANS PREPARED BY THE STRUCTURAL ENGINEER, MECHANICAL AND ELECTRICAL DRAWINGS.
1. UNDERLAYS AND OVERHEAD DOORS SHALL BE INSTALLED IN ACCORDANCE WITH MECHANICAL AND ELECTRICAL DRAWINGS. PROVIDE SLEEVES FOR ALL PENETRATIONS THROUGH FOUNDATION WALLS WHERE MECHANICAL AND ELECTRICAL PENETRATIONS ARE REQUIRED.
2. PROVIDE DROPS IN FOUNDATION WALLS WHERE INDICATED AND WHERE REQUIRED AT EXTERIOR OPENINGS, AT DOORS AND OVERHEAD DOORS, EXTEND FLOOR SLABS AT EXTERIOR OPENINGS AND OVERHEAD DOORS TO EXTERIOR FACE OF FOUNDATION WALLS TO POSITIVE SLOPE TO EXTERIOR FROM EXTERIOR FACE OF DOOR OR OVERHEAD DOOR (TYP.).
3. TAKE CARE DURING PLACEMENT OF CONCRETE TO MITIGATE FACTORS THAT CONTRIBUTE TO SURFACE DEFECTS. ENSURE FACE OF FOUNDATION WALLS THAT WILL REMAIN EXPOSED (TYPICALLY 300MM MINIMUM) IS FREE OF HONEYCOMBING OR OTHER SURFACE DEFECTS.
4. ENSURE FACE OF FOUNDATION WALLS THAT ADJUT AN ADJACENT CONCRETE SLAB OR OTHER CONCRETE ARE SMOOTH TO THE FINISH LINE. REMOVE ALL EXCESS CONCRETE AT EXPANSION JOINTS CAP, SCAULKED JOINT, SCRAPE OR GRIND AS REQUIRED.



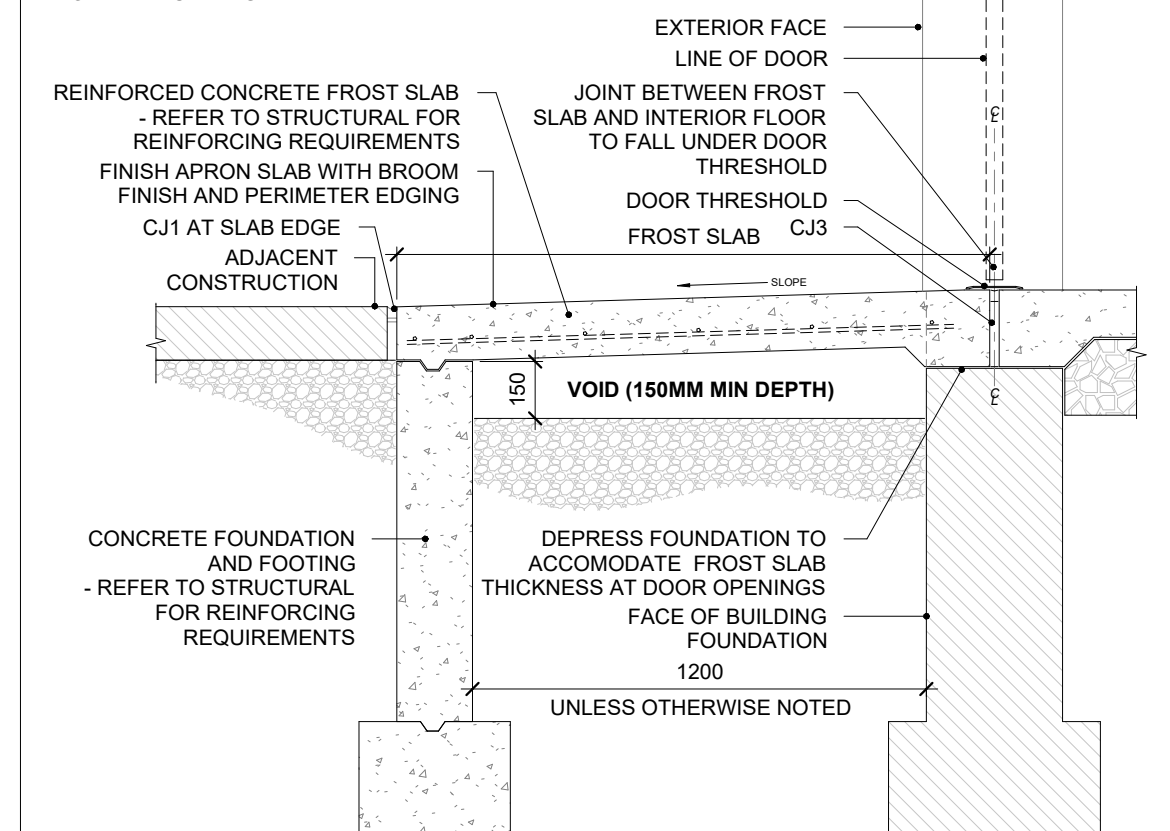
3 / A3.1

3-0004 - FS-1 - FROST SLAB DETAILS

THE INTENT OF THE FROST SLAB IS TO PROTECT THE EXTERIOR
SLAB FROM HEAVING DUE TO FROST OR SETTLEMENT THEREBY
ENSURING THAT THE TOP OF EXTERIOR SLABS ALIGN WITH THE
TOP OF INTERIOR FLOORS

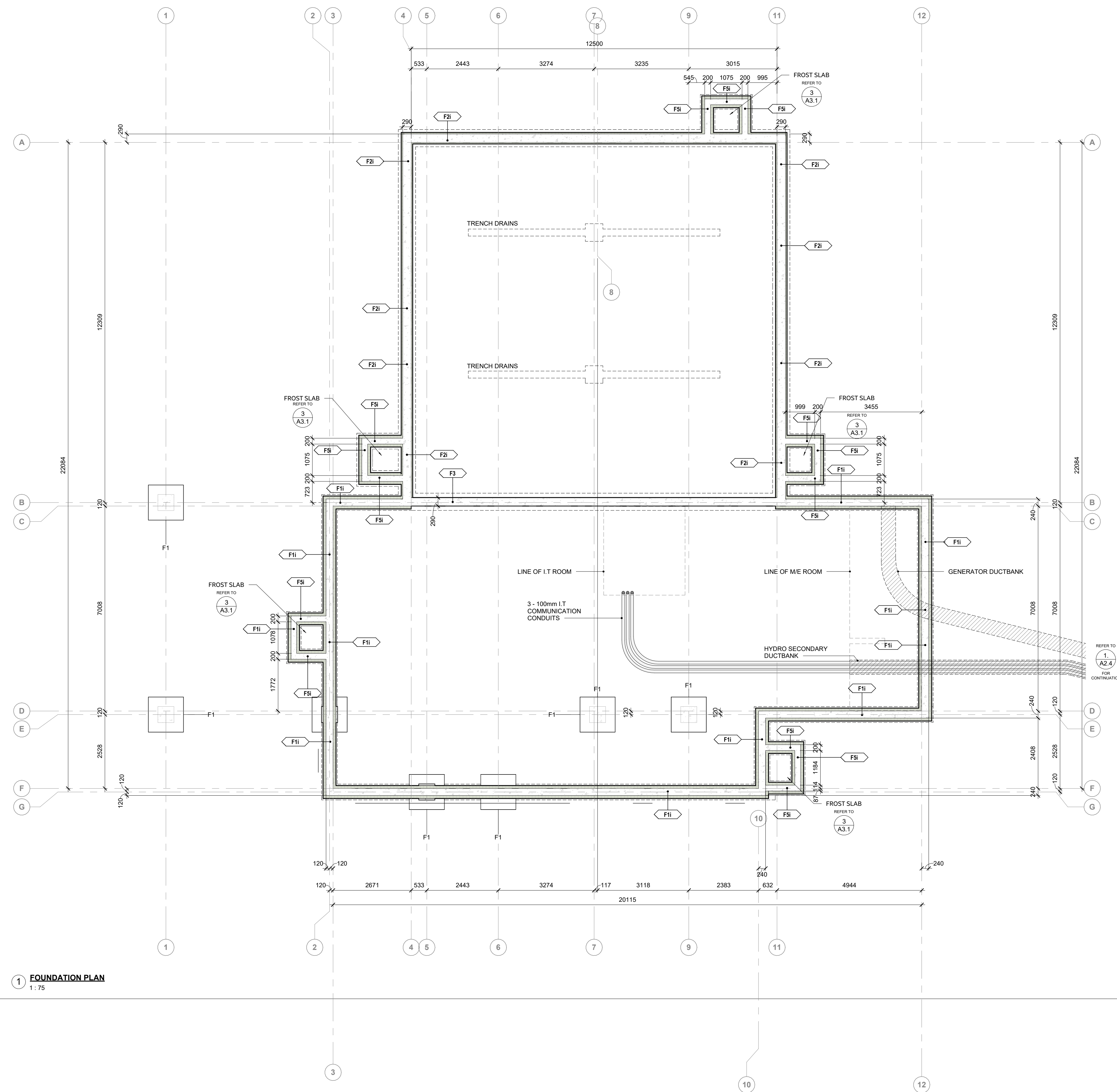
- PRIOR TO PLACEMENT DO THE FOLLOWING:
1. DETERMINE THE LOCATION OF DOOR THRESHOLD AND ENSURE THAT CJ3 JOINT FALLS UNDERNEATH
 2. ENSURE THAT FROST SLAB SLOPES DOWN FROM CJ3 JOINT TO DIRECT WATER AWAY FROM BUILDING

UNDER NO CIRCUMSTANCES SHALL WATER BE DIRECTED TOWARD BUILDING



ALL REINFORCING STEEL EPOXY COATED

1 **FOUNDATION PLAN**
1 : 75



2026-06-03 12:31:21 PM

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
20	ADDENDUM #3	2025-21-16
21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT: **YORK REGION PRS #33 RFTC**
397-21
2960 TESTON ROAD, VAUGHAN

CLIENT

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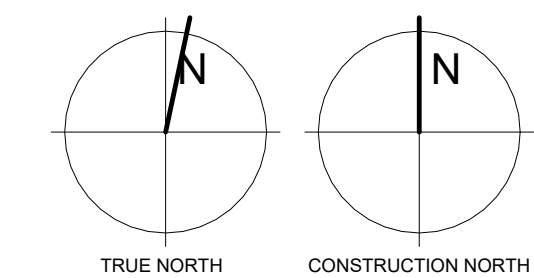
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PROFESSIONAL SEAL

DWG TITLE

**LAYOUT PLAN -
FOUNDATION &
GROUND FLOOR**

ORIENTATION

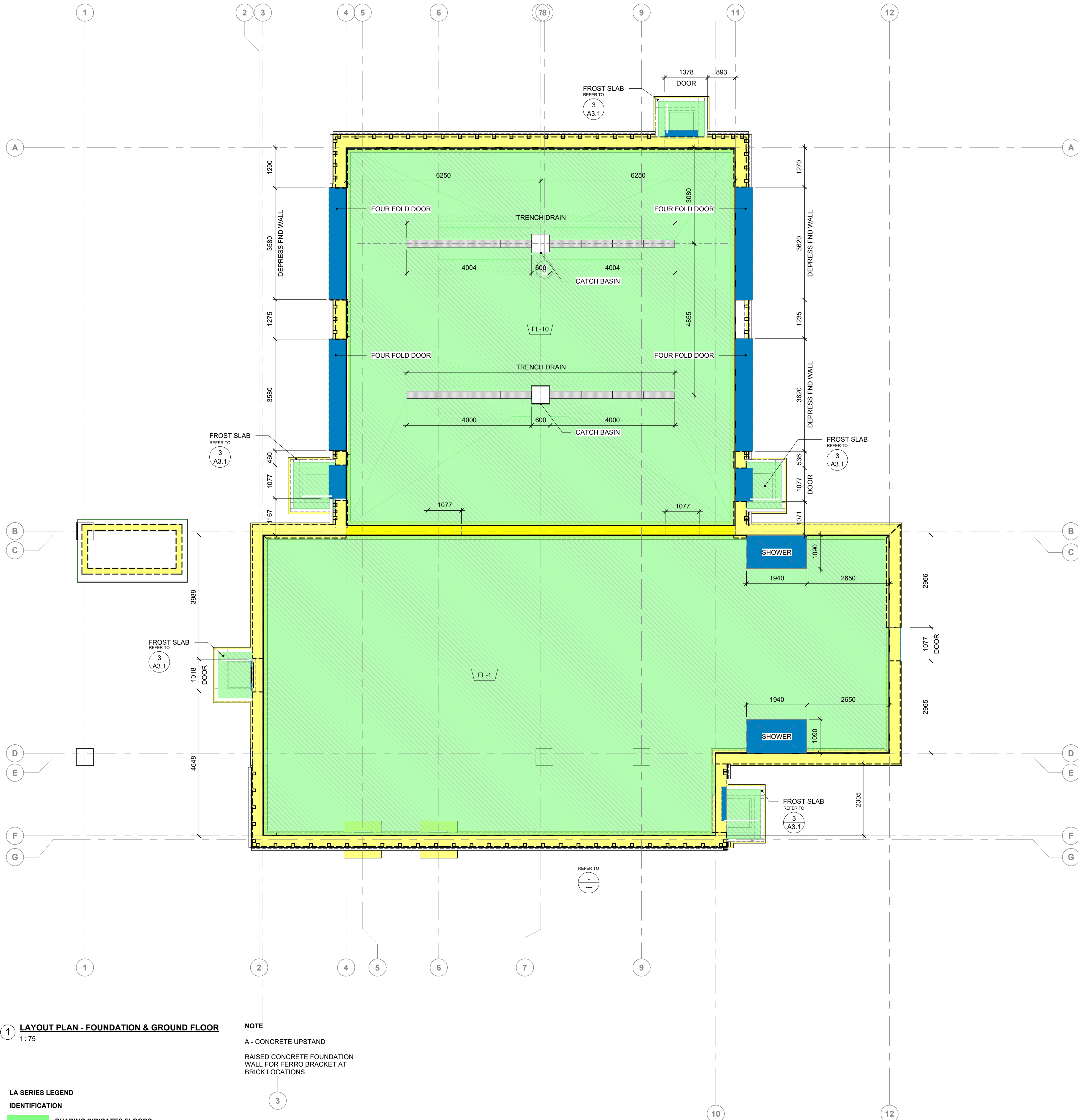
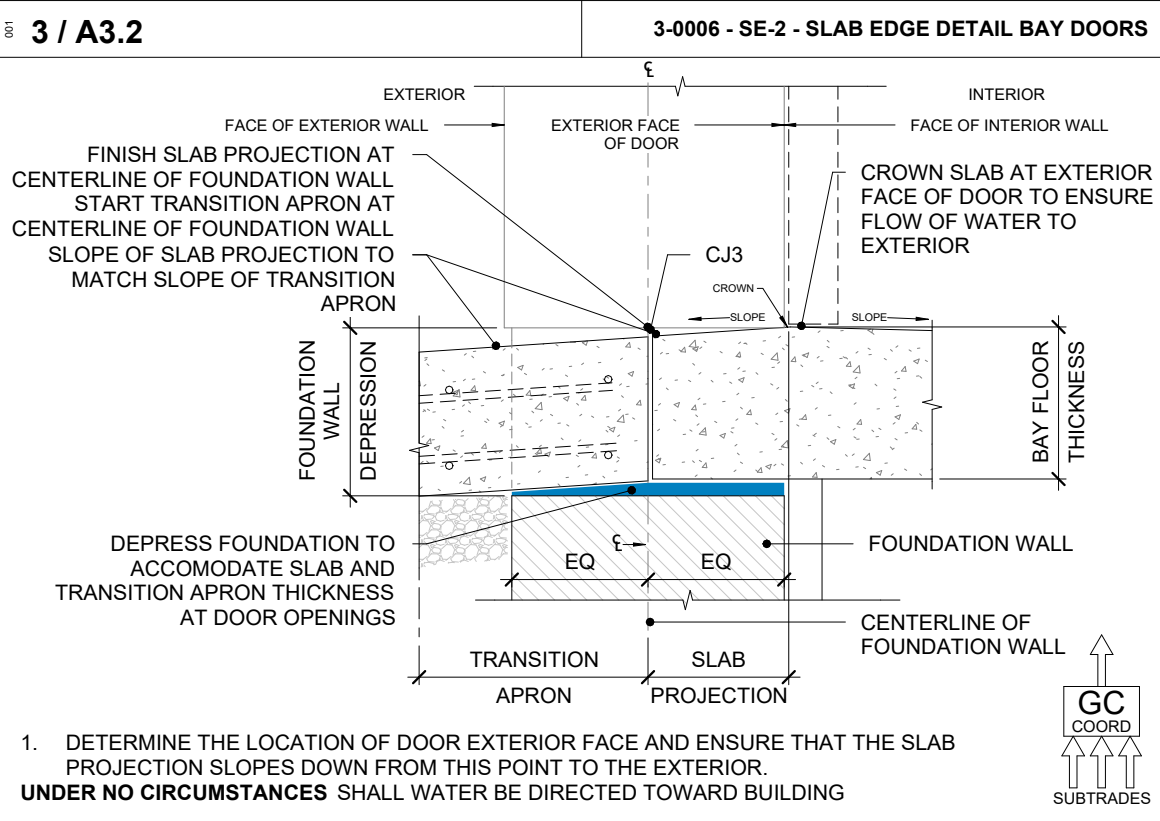
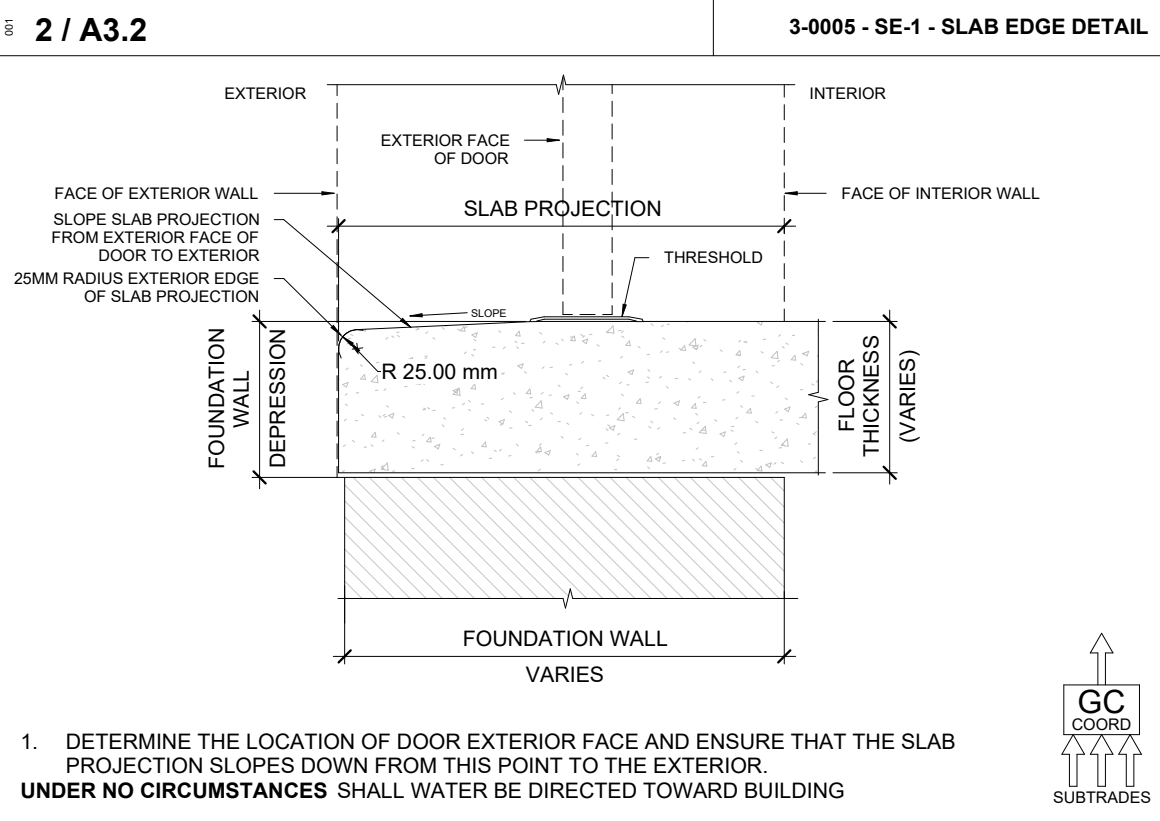
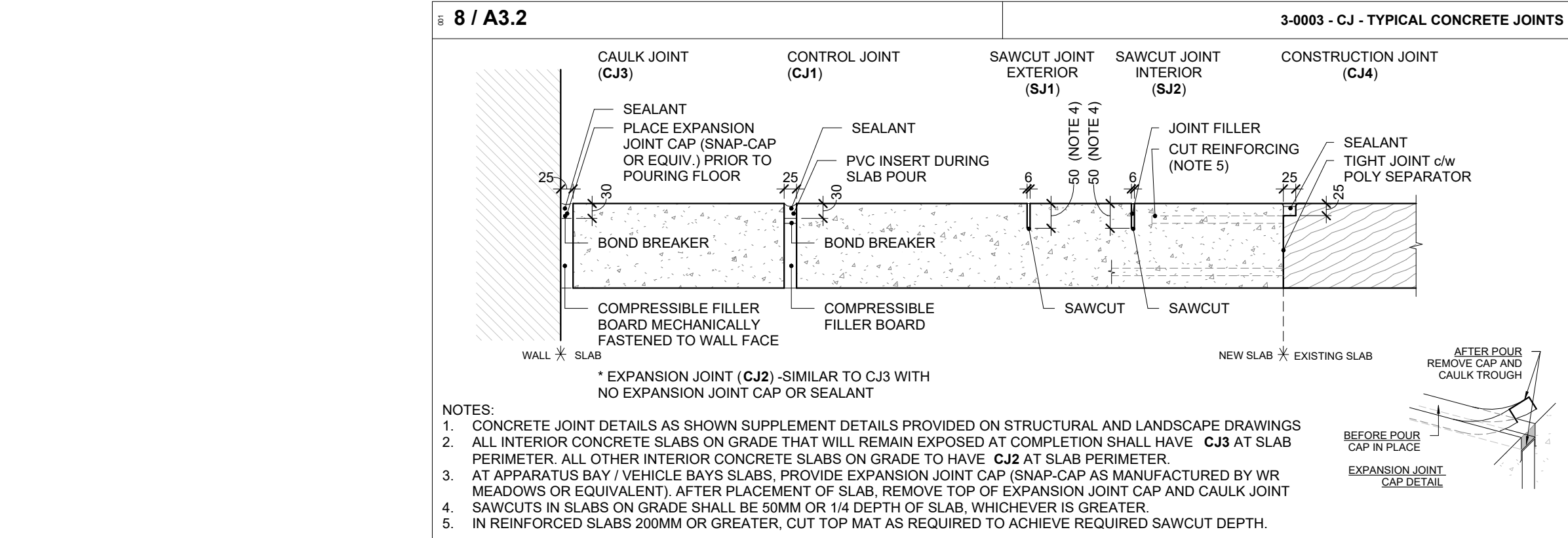
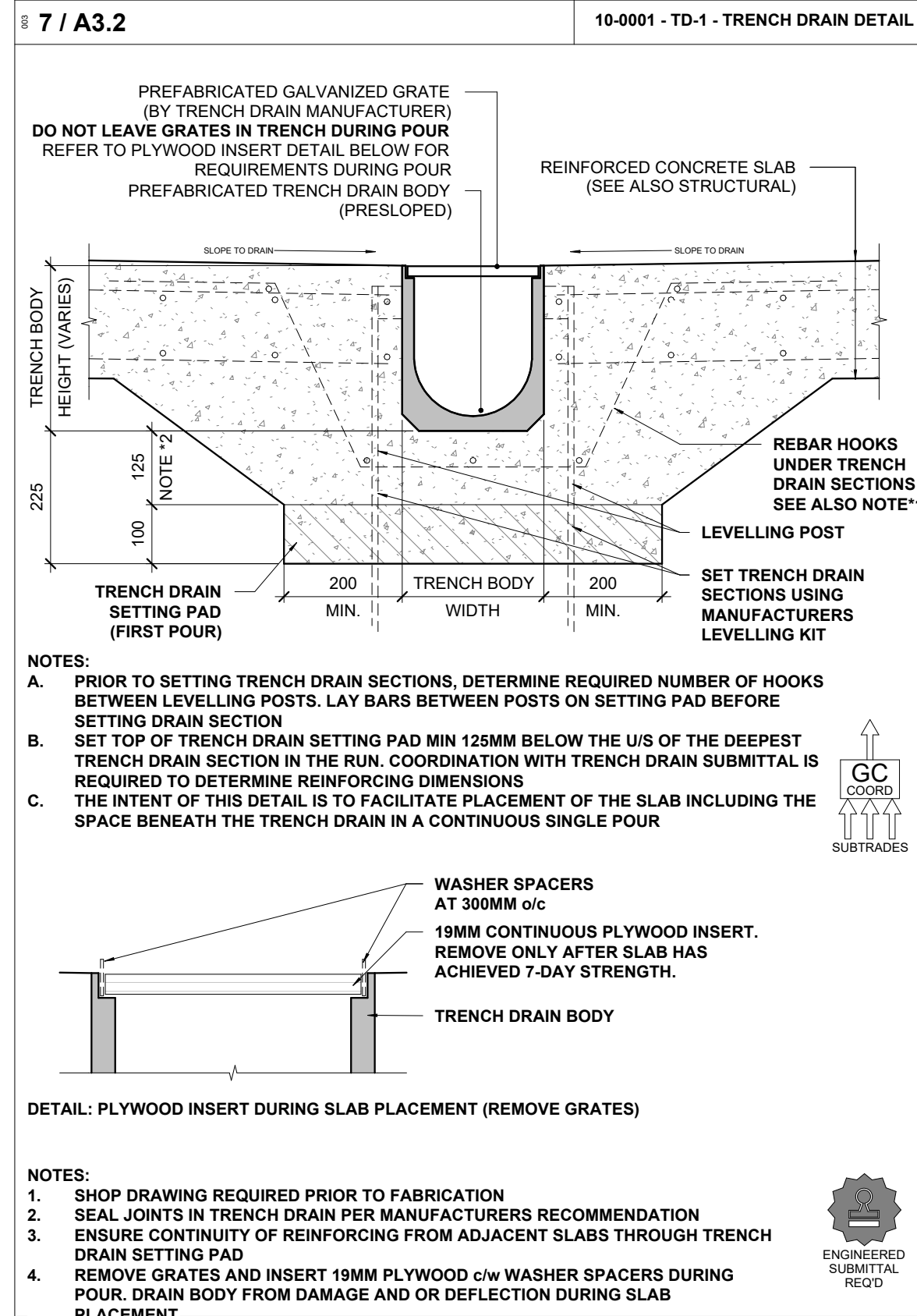
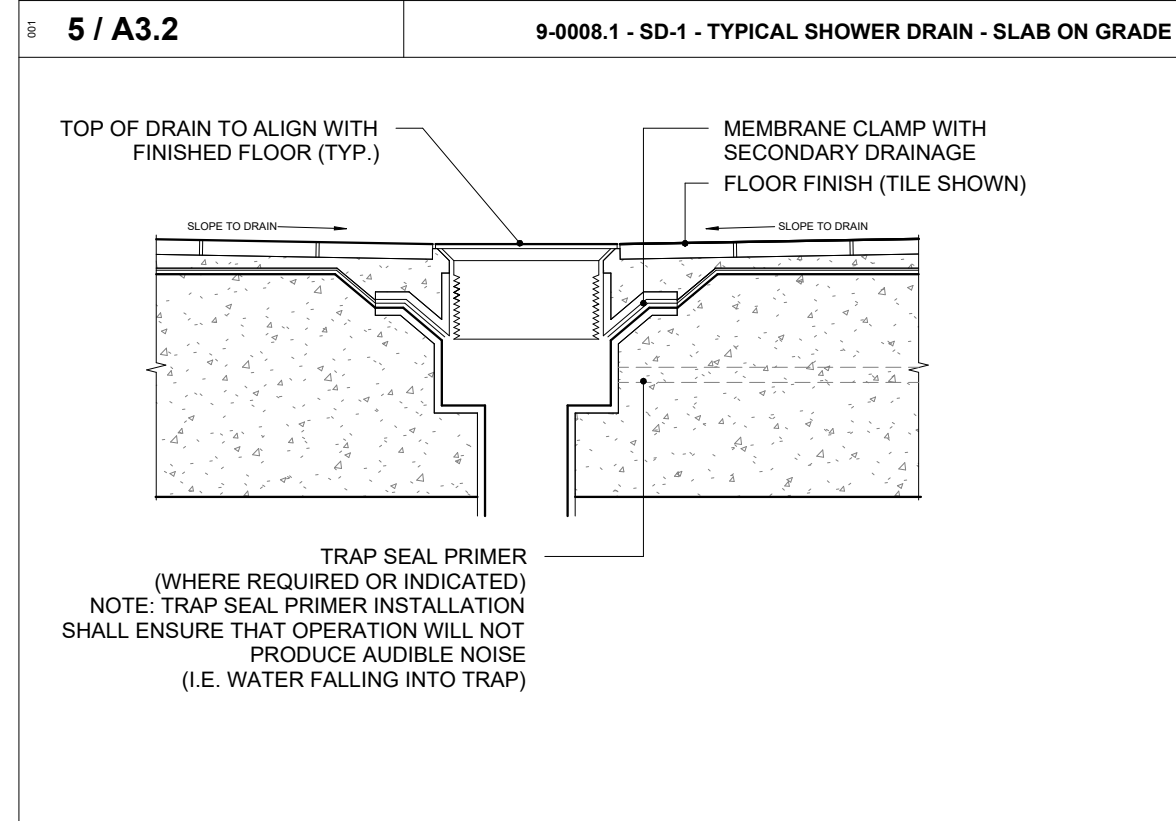
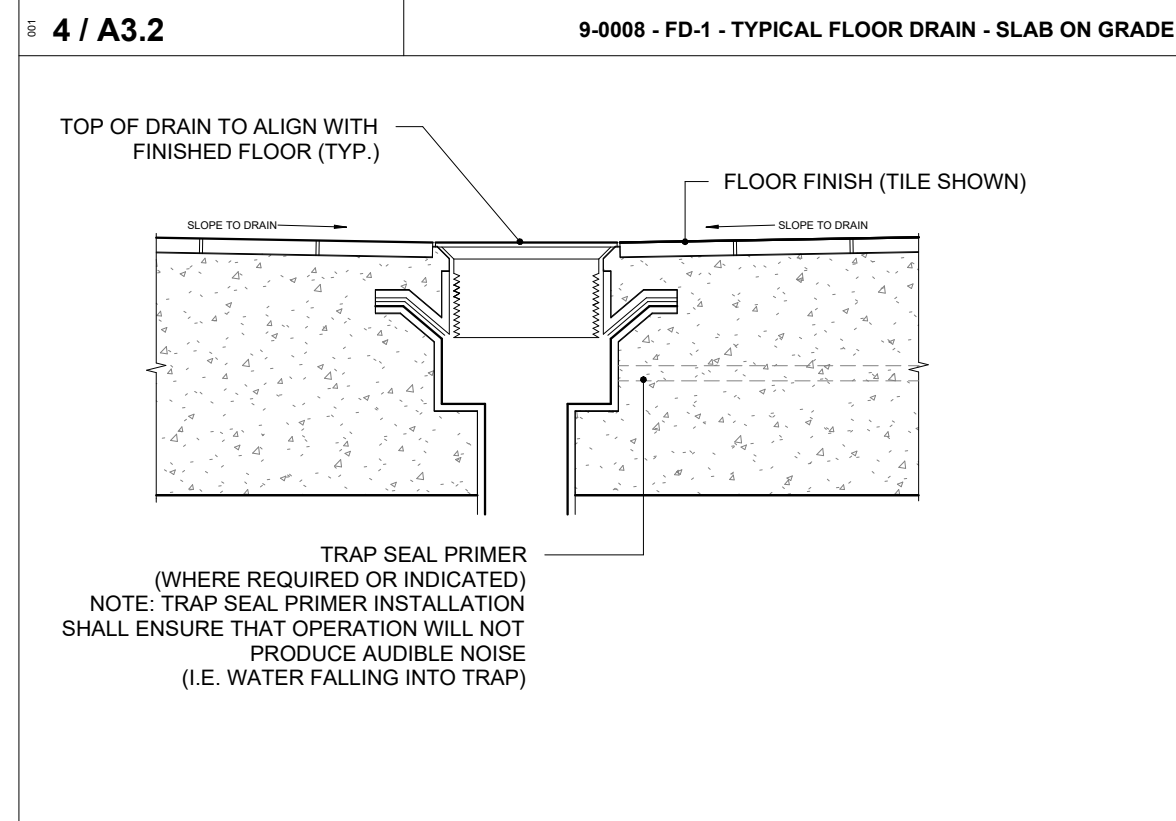


DATE
2020-11-18

PROJECT NO.
1622

DRAWING NO.
A3.2

REVISION
25



1 LAYOUT PLAN - FOUNDATION & GROUND FLOOR

1:75

LA SERIES LEGEND

IDENTIFICATION

- SHADING INDICATES FLOORS
- INDICATES OF ROOF DECK DIMENSION
- SHADING INDICATES ROOF DECK

DIMENSIONING AND DETAILING

- SHADED WALLS ARE DIMENSIONED TO FACE OF STUD
- INDICATES SLAB OR FOUNDATION WALL DEPRESSIONS
- INDICATES ROOF DIVIDERS AND/OR FRAMED UPSTANDS WHERE ROOF DECK ABUTS VERTICAL WALL

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
23	PERMIT FR ON PLNS	2026-02-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT :

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR
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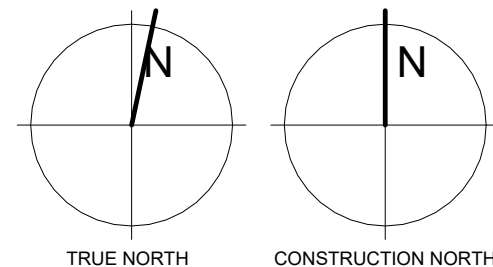
ARCHITECT
THOMASBROWNARCHITECTS
187 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

DWG TITLE

FLOOR PLAN - INTERIOR PARTITION LAYOUT

ORIENTATION



DATE
2020-11-18

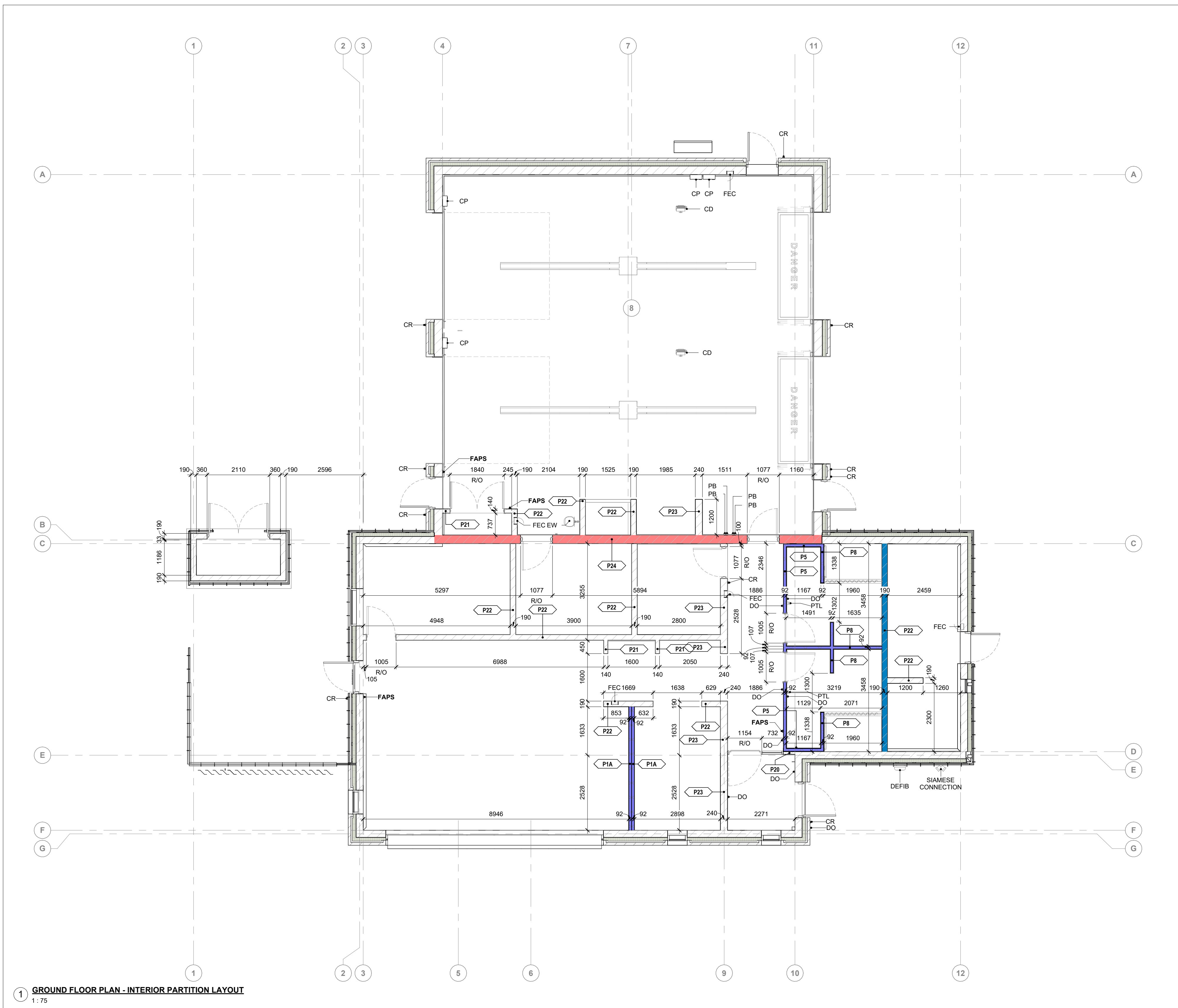
PROJECT No.
1622

DRAWING No.
A3.4

REVISION
25

YORK REGION PRS #33 RFTC 397-21

2960 TESTON ROAD, VAUGHAN



1 **GROUND FLOOR PLAN - INTERIOR PARTITION LAYOUT**
1:75

LA SERIES LEGEND

IDENTIFICATION

- SHADING INDICATES FLOORS
- INDICATES OF ROOF DECK DIMENSION
- SHADING INDICATES ROOF DECK

DIMENSIONING AND DETAILING

- SHADED WALLS ARE DIMENSIONED TO FACE OF STUD
- INDICATES SLAB OR FOUNDATION WALL DEPRESSIONS
- INDICATES ROOF DIVIDERS AND/OR FRAMED UPSTANDS WHERE ROOF DECK ABUTS VERTICAL WALL

2 / A3.4

A700 GENERAL NOTES - LA SERIES

- LA SERIES DRAWINGS HAVE BEEN FILTERED OR SIMPLIFIED TO DEMONSTRATE A PARTICULAR DETAIL OR RELATIONSHIP. THEY ARE NOT INTENDED TO SHOW THE COMPLETE SCOPE OF WORK.
- IN NO WAY WILL THESE DRAWINGS BE USED AS THE BASIS TO CLAIM A REDUCTION IN PROJECT SCOPE.**
- LA SERIES DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS TO DETERMINE THE FULL SCOPE OF WORK.
- IN PREPARATION OF SUBMITTALS, DIMENSIONS SHALL BE TIED TO GRIDLINE REFERENCES TO FACILITATE REVIEW.

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT :
YORK REGION PRS #33 RFTC
397-21
2960 TESTON ROAD, VAUGHAN

CLIENT

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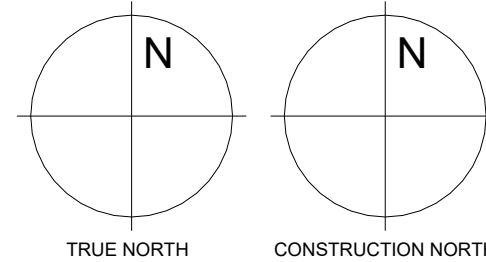
ARCHITECT
THOMASBROWNARCHITECTS
187 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

DWG TITLE

**VEHICLE BAY, I.T.
ROOM, CREW AREA
ELEVATIONS &
DETAILS**

ORIENTATION



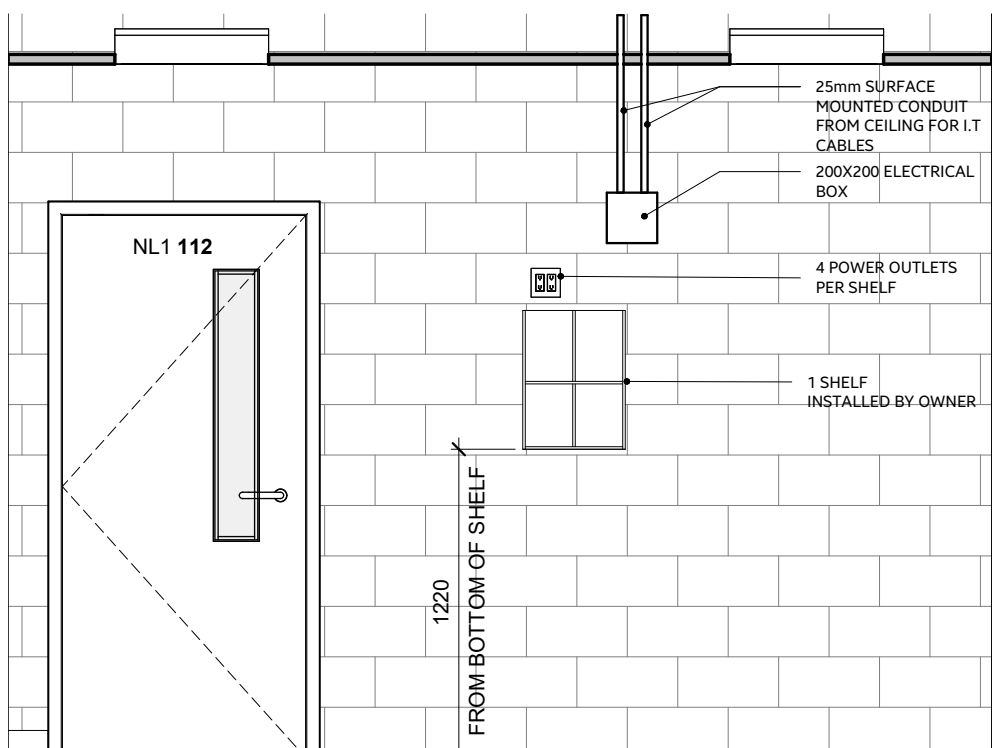
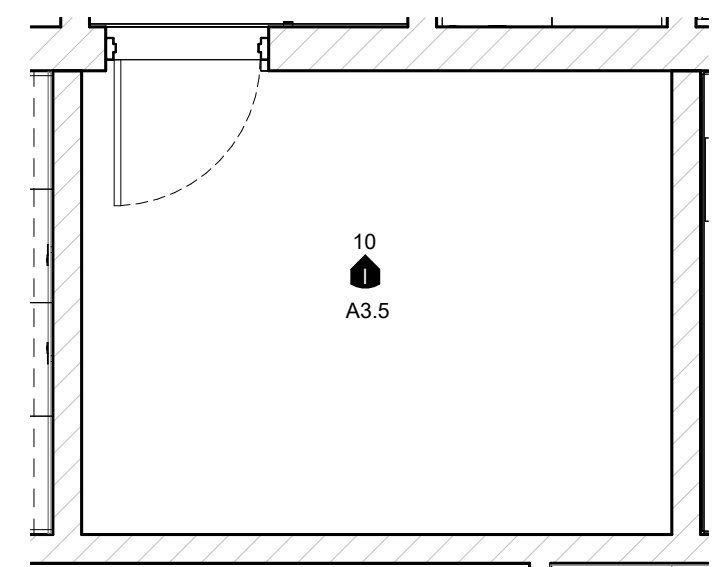
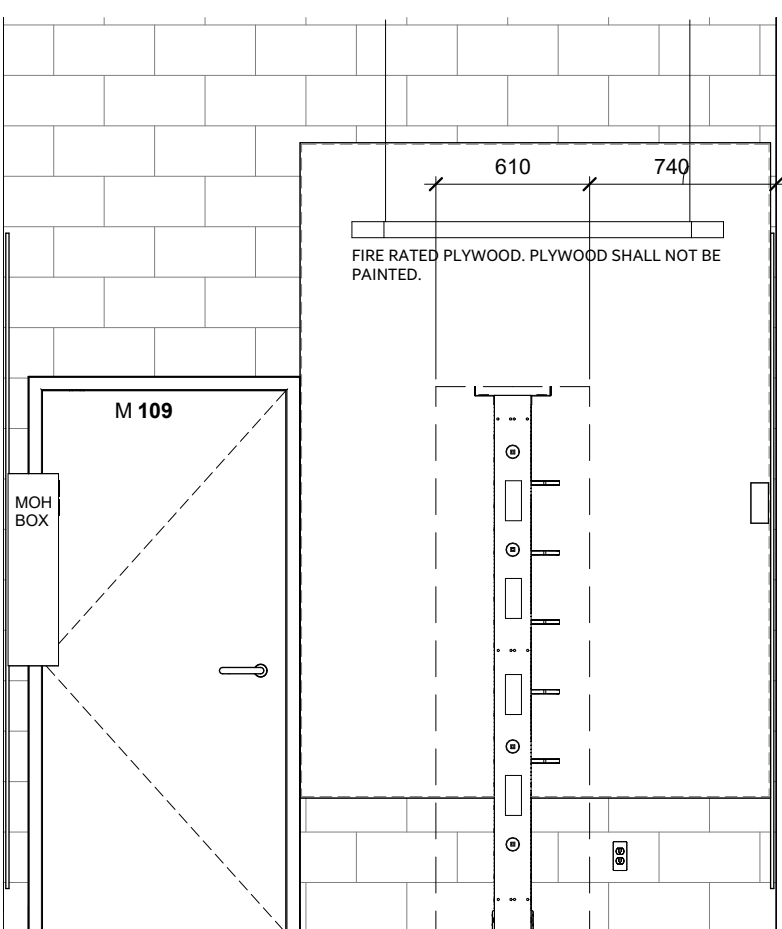
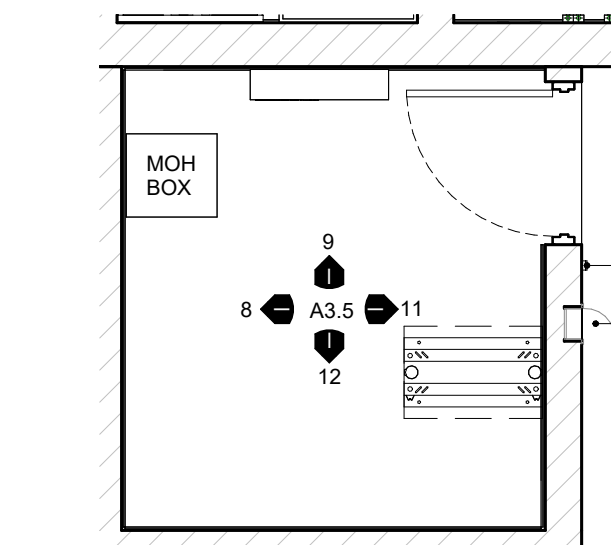
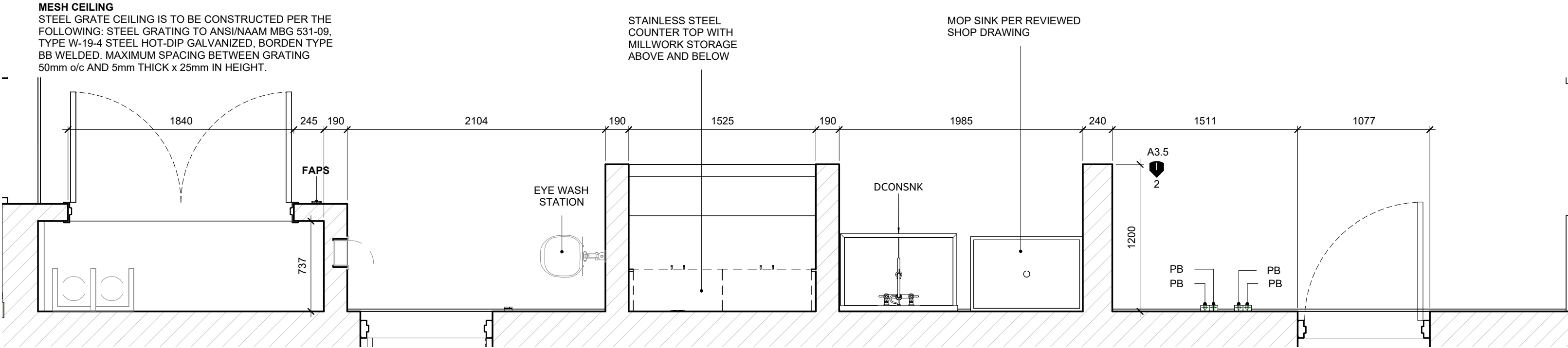
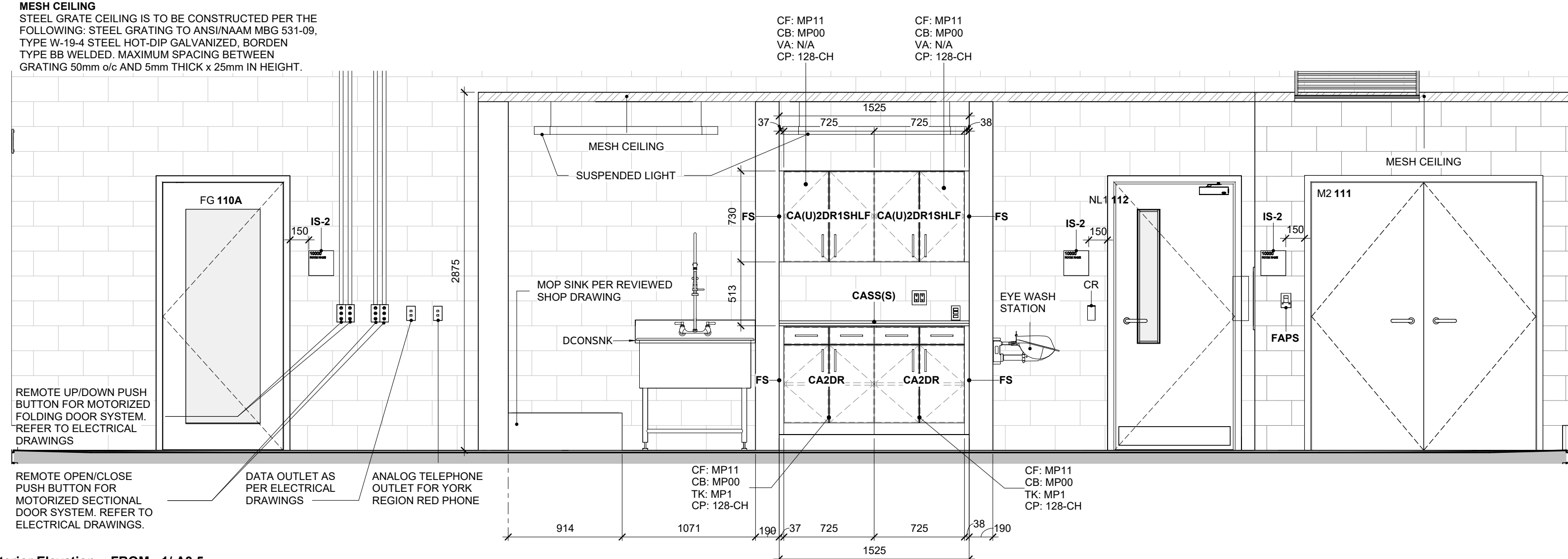
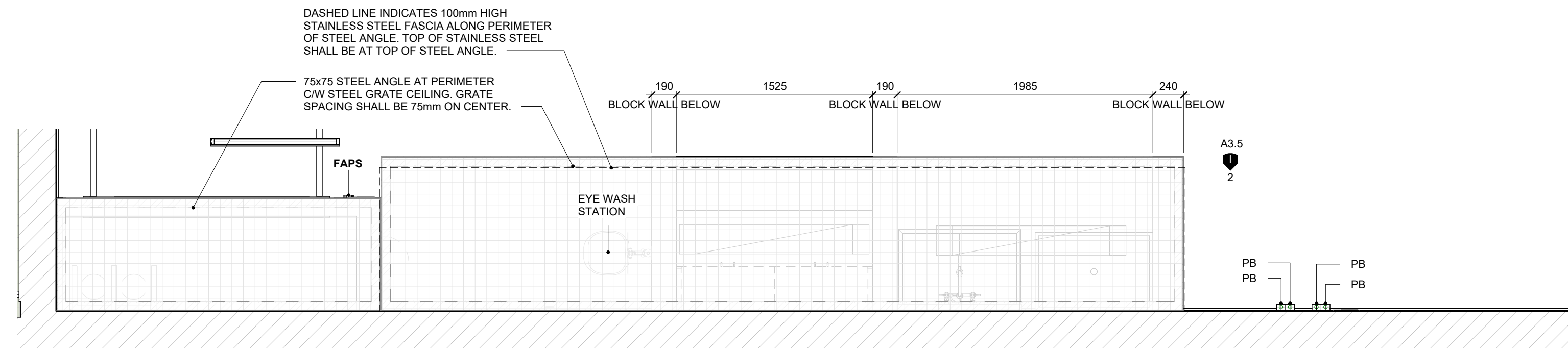
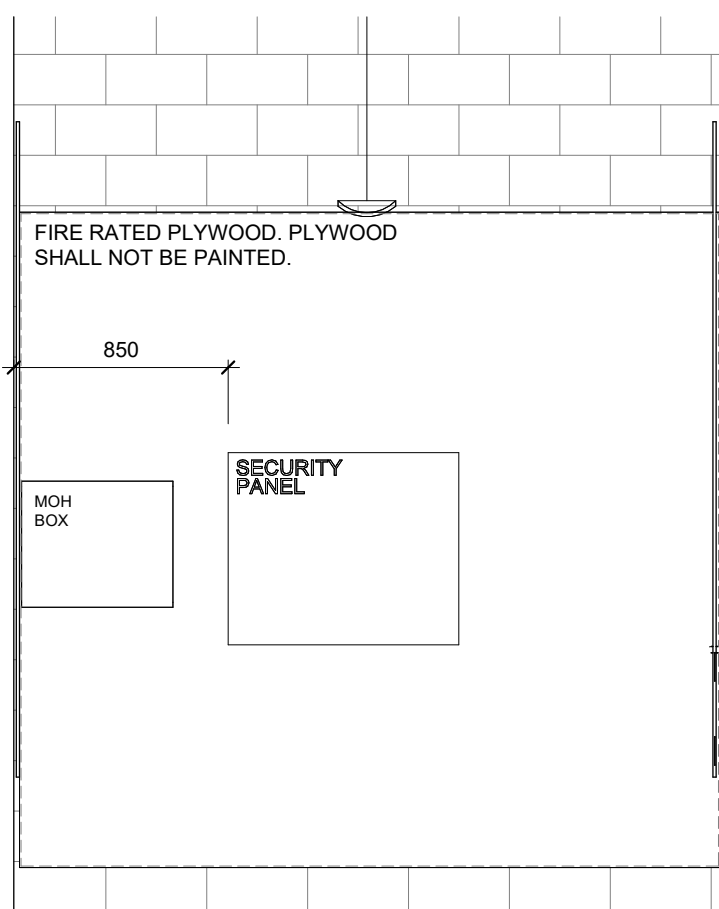
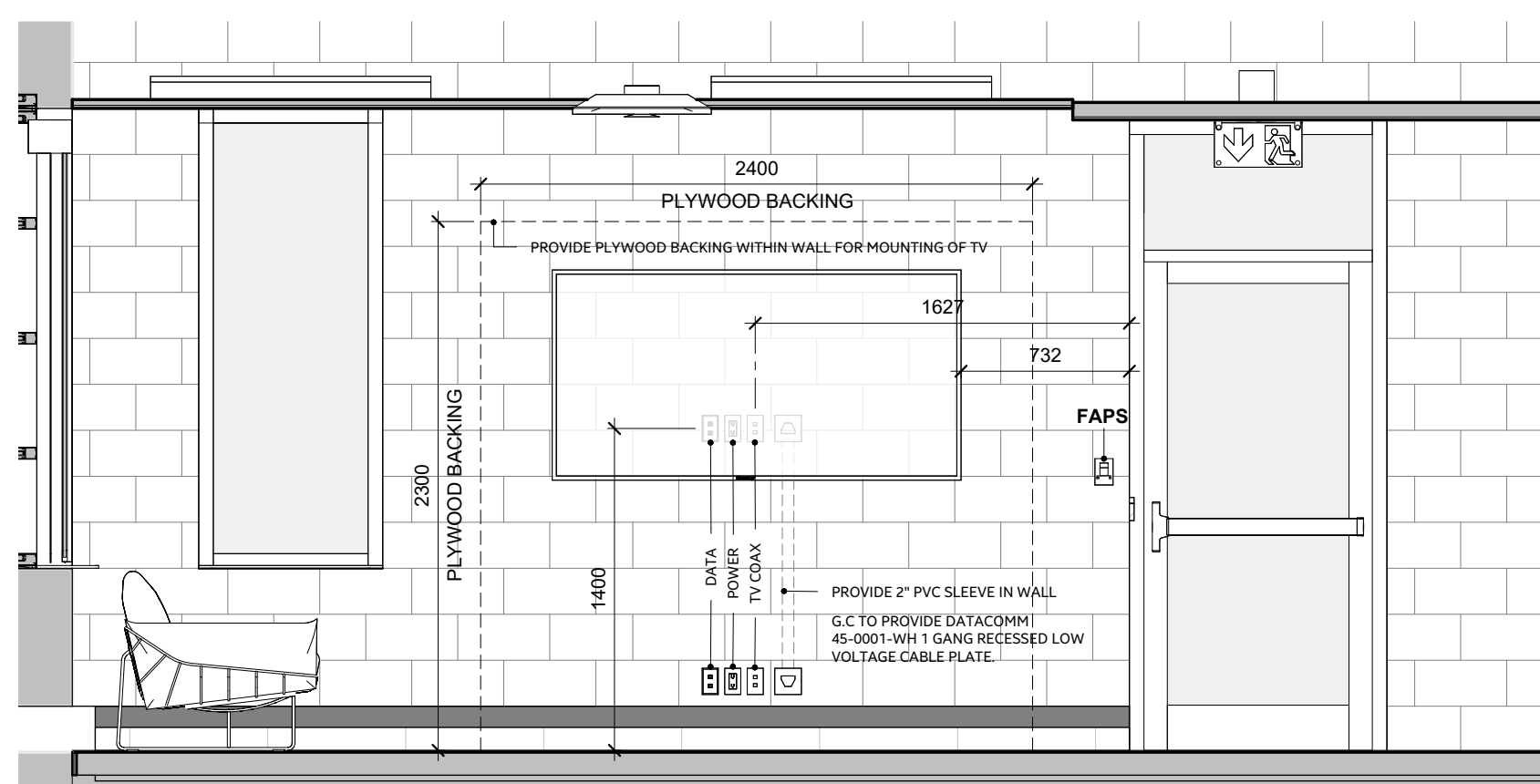
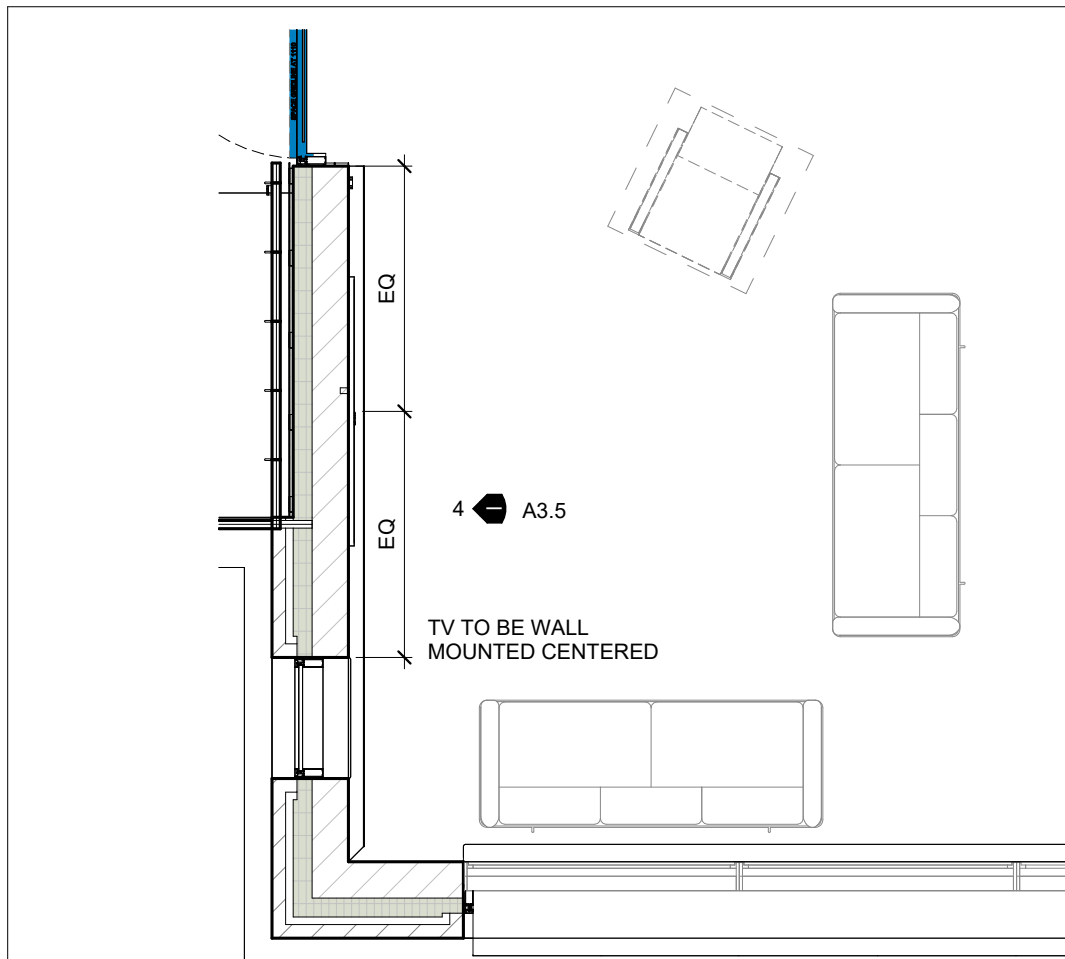
DATE
2020-11-18

PROJECT No.
1622

DRAWING No.
A3.5

REVISION
25

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ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
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14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2023-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT :
YORK REGION PRS #33 RFTC
397-21

2960 TESTON ROAD, VAUGHAN

CLIENT

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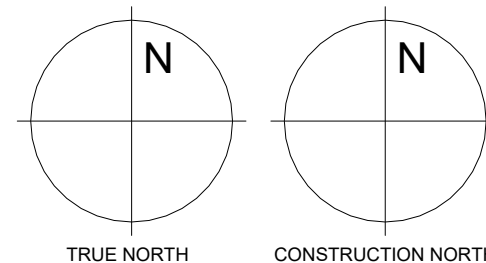
ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

**VEHICLE BAY
ELEVATIONS AND
DETAILS**

ORIENTATION



DATE
2020-11-18

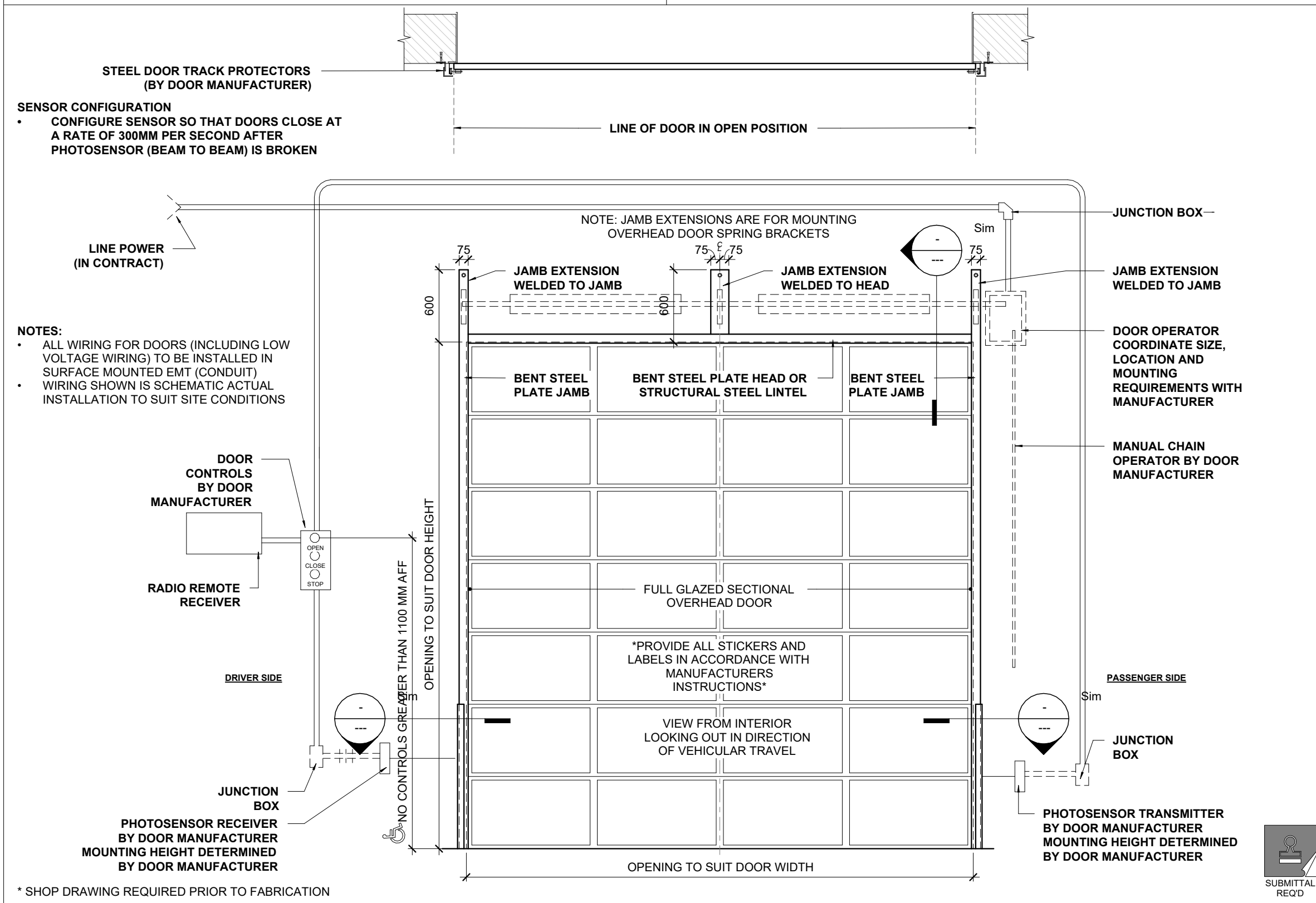
PROJECT No.
1622

DRAWING No.
A3.6

REVISION
25

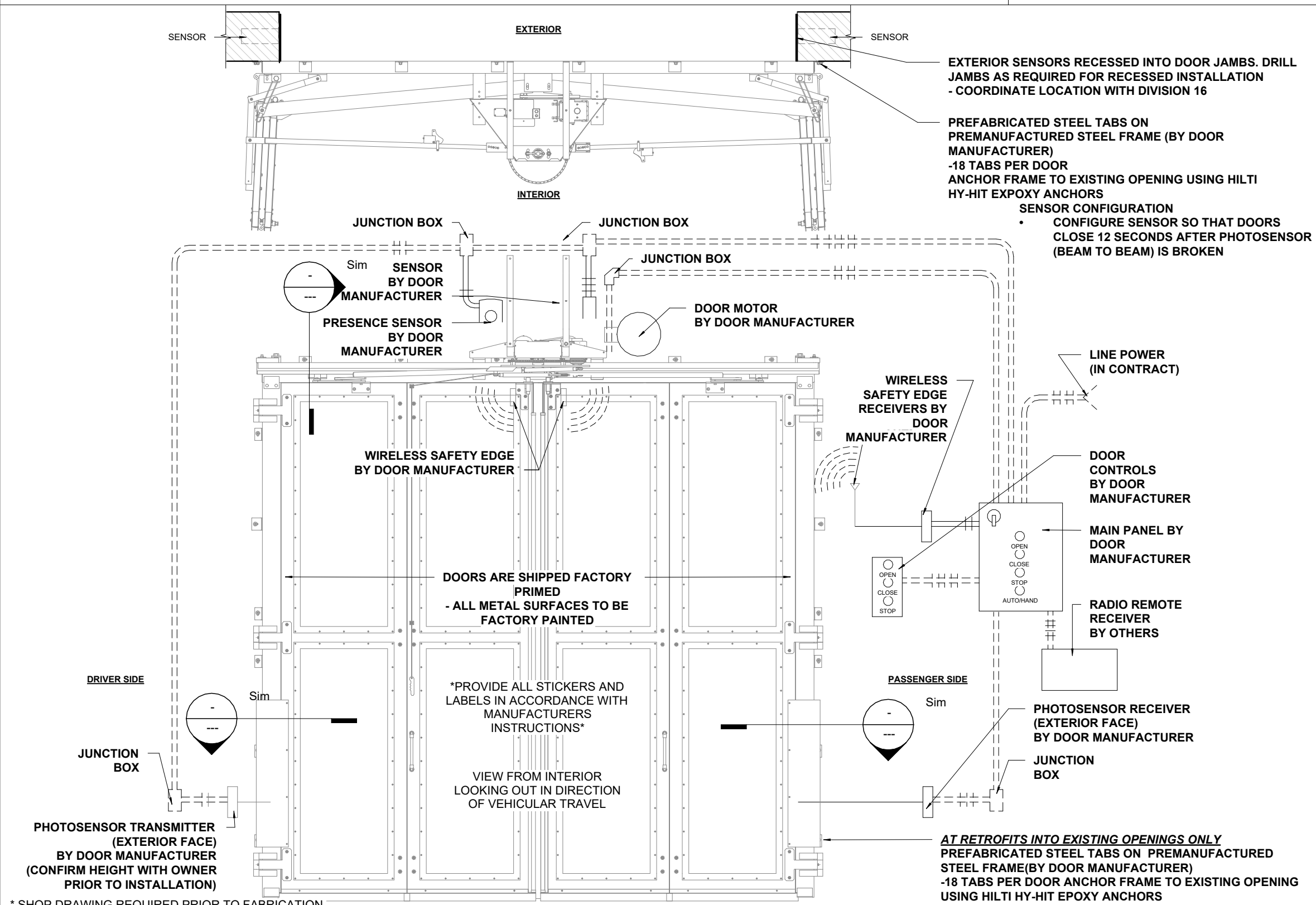
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8-0010 - OHD-1 - OVERHEAD DOOR DETAILS



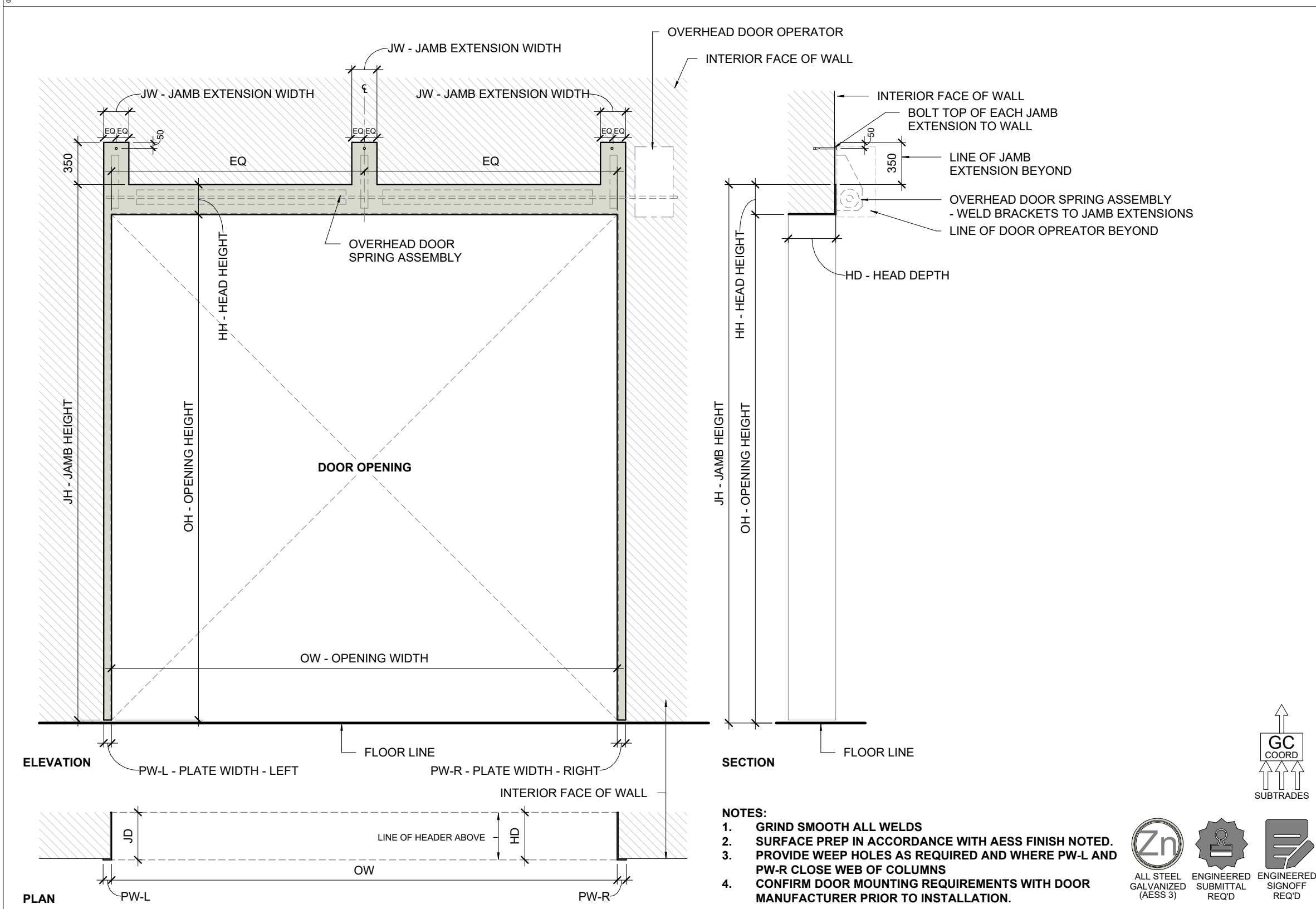
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8-0001 - FFD-1 - FOUR FOLD DOOR DETAILS



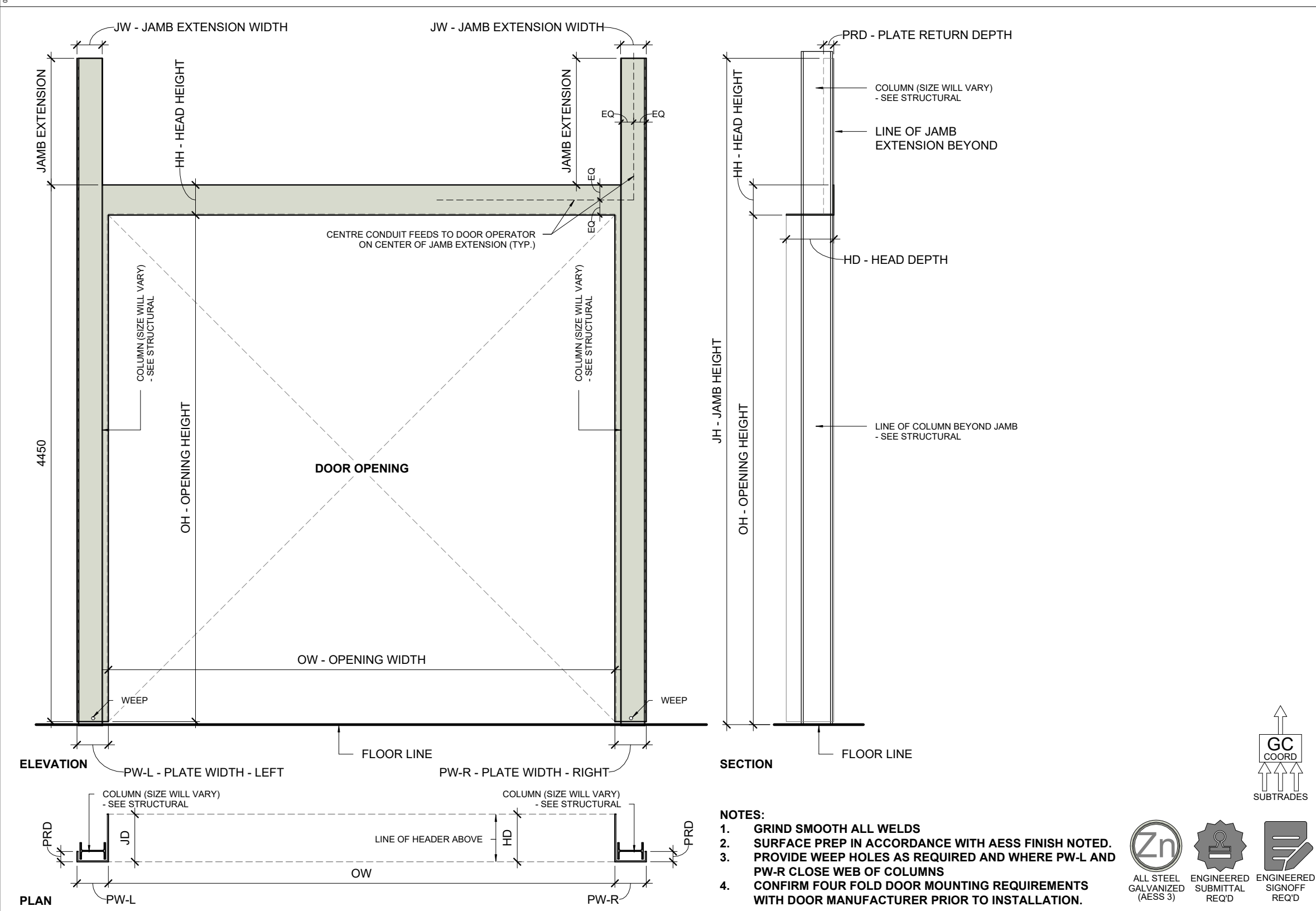
4 / A3.6

5-0022 - OHD SURROUND DETAILS - OVERHEAD DOORS



2 / A3.6

5-0021 - FFD SURROUND DETAILS - FOUR FOLD DOORS



ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
22	ADDENDUM #7	2026-01-21
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PROJECT :

CLIENT

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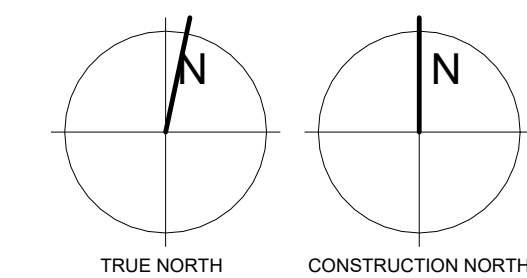
ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

ROOF PLAN

ORIENTATION



DATE
2020-11-18

PROJECT No.

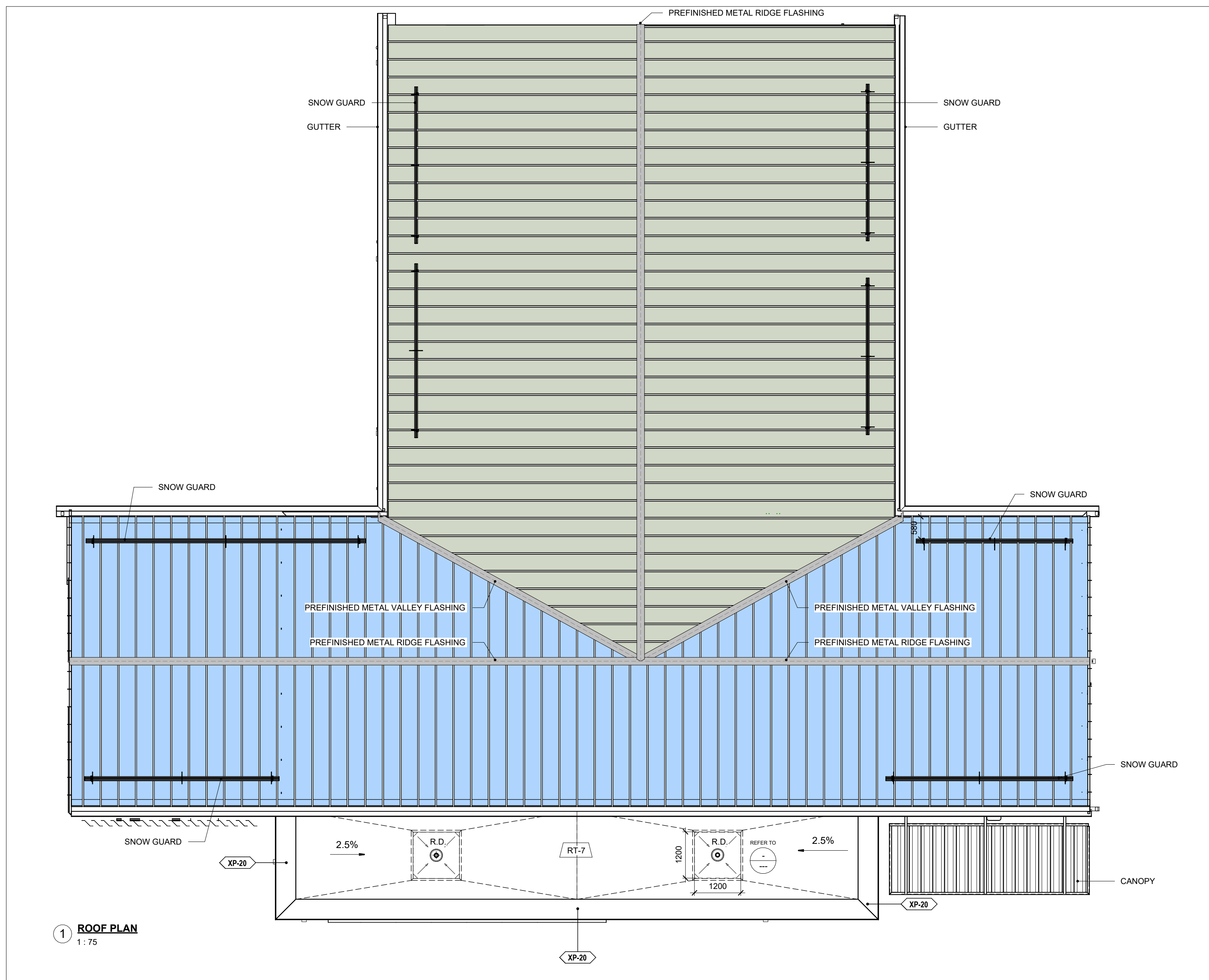
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DRAWING No.

A4.1

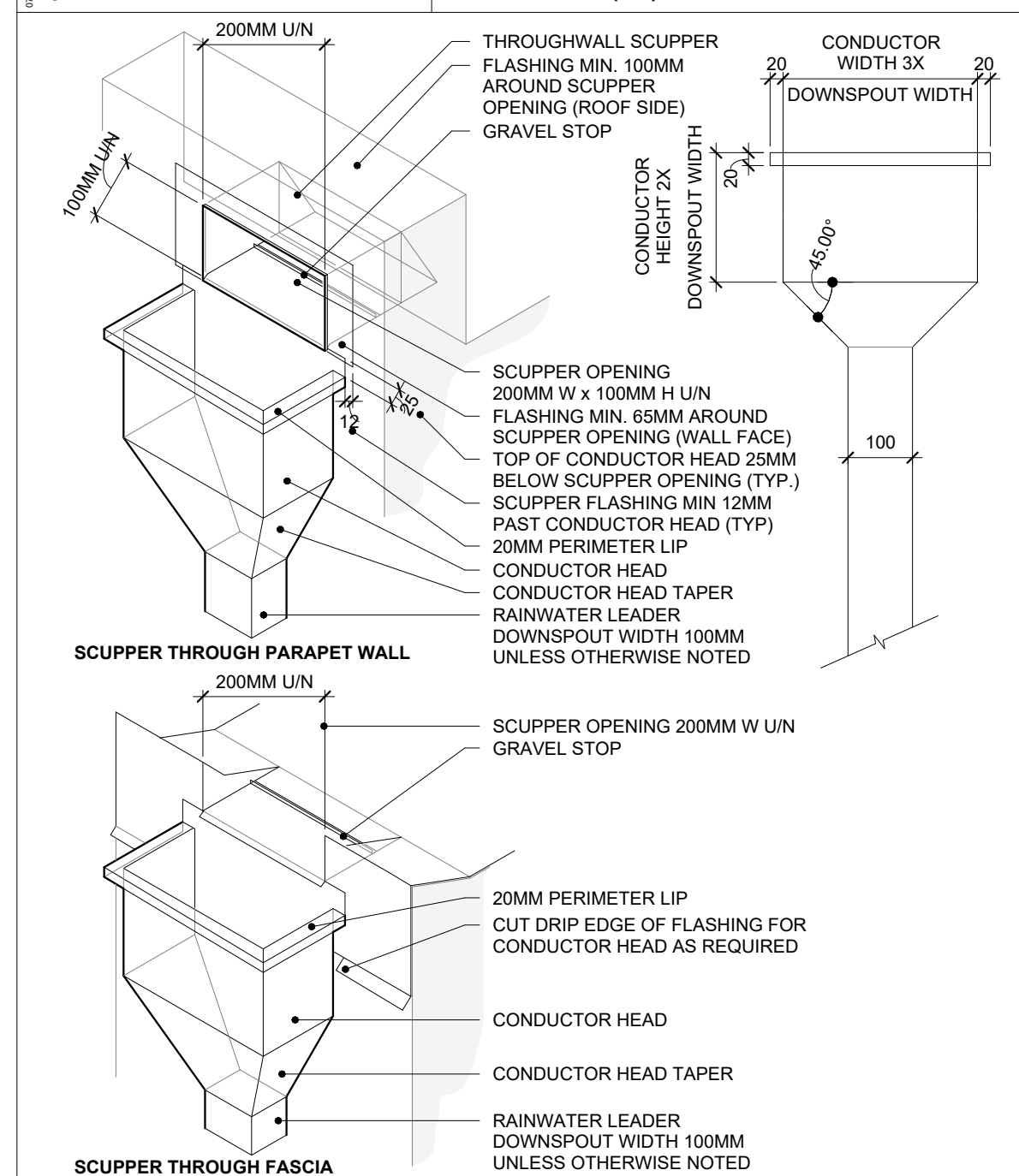
REVISION

25



- COLOUR 1: FINISH TO BE SELECTED FROM
VICWEST SIGNATURE - SMP COATED
METAL LINE
- COLOUR 2: FINISH TO BE SELECTED FROM
VICWEST SIGNATURE - SMP COATED
METAL LINE

6 / A4.1 7-0005 - RWL(CH)-1 RAIN WATER LEADER DETAIL

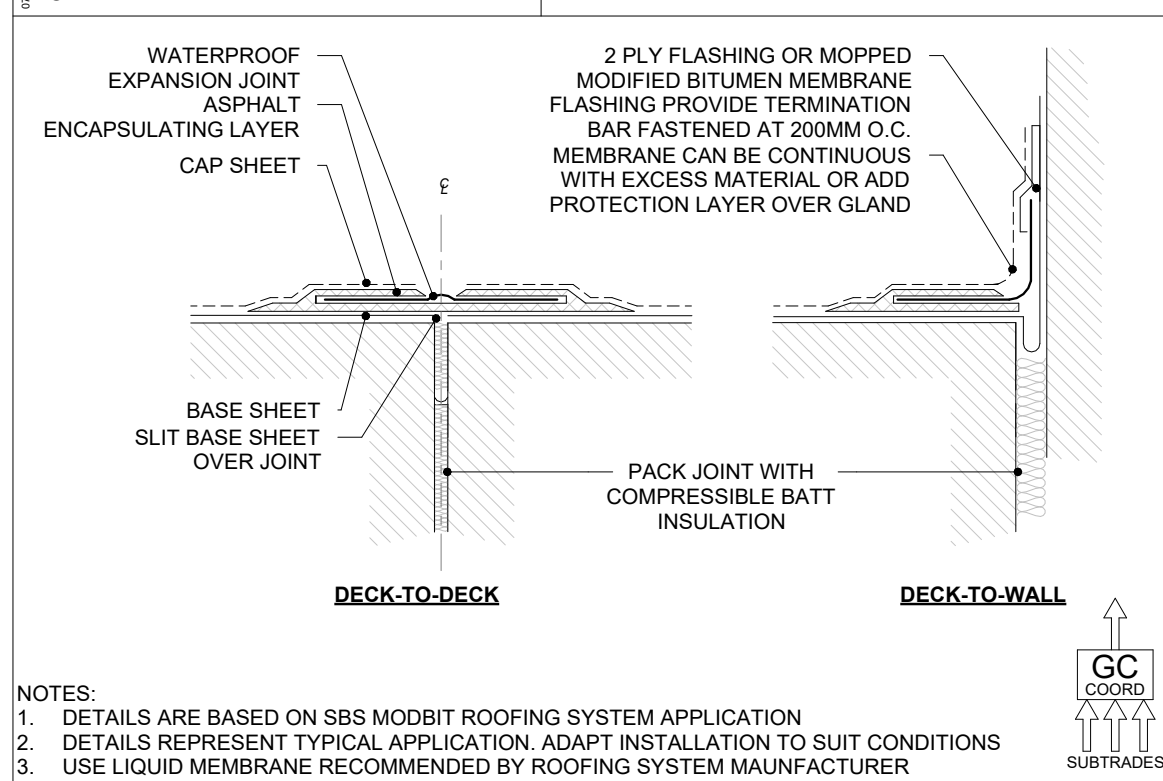


- NOTES:
- FABRICATE AND INSTALL IN ACCORDANCE WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL - CURRENT EDITION
 - ALL JOINTS - METAL SHALL BE SOLDERED - ALUMINUM SHALL BE WELDED

2 / A4.1 A700 GENERAL NOTES - ROOF PLAN

- ROOF PLAN DOES NOT SHOW ALL PENETRATIONS THROUGH ROOF. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR ROOF PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
- ALL ROOF PENETRATIONS SHALL BE SEALED USING TALL CONE FLASHING OR PITCH POCKETS AS REQUIRED. CONES SHALL BE SEAMLESS AND INCLUDE A STORM COLLAR.
- PROVIDE TAPERED INSULATION AT PERIMETER OF ALL ROOFS, SKYLIGHTS AND AS INDICATED. SLOPE SHALL BE 2%.
- UNLESS NOTED OTHERWISE, SUMP ALL ROOF DRAINS IN ACCORDANCE WITH APPLICABLE CRCA DETAIL AS INDICATED OR AS REQUIRED. PROVIDE TAPERED CRICKETS OR SIMILAR TYPE MEASURES TO ENSURE THAT ROOF WATER FLOWS TO DRAINS.
- SLOPE OF ROOF STRUCTURE TO BE SUPPLEMENTED BY TAPERED INSULATION. SLOPE ROOF INSULATION MIN. 1.5% TO DRAINS. TYPICAL CRICKETS, CONSTRUCTED OUT OF TAPERED INSULATION, ARE TO PROVIDE TWO TIMES THE SLOPE OF THE ROOF STRUCTURE.
- UPSTANDS ON ROOF FOR MECHANICAL UNITS, PARAPETS, SKYLIGHTS TO COME COMPLETE WITH CANT STRIPS.
- WITHOUT EXCEPTION** ROOF MOUNTED EQUIPMENT AND FITTINGS THAT REQUIRE A ROOF CURB SHALL BE SUPPORTED BY A CURB OF SUFFICIENT HEIGHT SO THAT THE TOP OF CURB IS AT LEAST 250mm ABOVE THE ADJACENT ROOF SURFACE. CONTRACTOR TO COORDINATE WITH SUPPLIERS/MANUFACTURERS ACCORDINGLY.
- CONTINUOUS VAPOUR RETARDER MEMBRANE COMPONENT OF ROOF ASSEMBLIES TO BE WRAPPED UP AT ALL PARAPETS, CURBS, EXTERIOR WALL ASSEMBLIES BY A MIN. 200mm OR AS DETAILED ON DRAWINGS. TIE INTO VAPOUR BARRIER & AVB MEMBRANES ON ALL VERTICAL SURFACES. PROVIDE 'PEEL & STICK' TYPE TRANSITION MEMBRANES IN ORDER TO ENSURE CONTINUITY OF AIR BARRIERS/BUILDING ENVELOPE.

3 / A4.1 7-0012 - ROOF EXPANSION JOINT DETAILS - TORCH DOWN



- NOTES:
- DETAILS ARE BASED ON SBS MODBIT ROOFING SYSTEM APPLICATION
 - DETAILS REPRESENT TYPICAL APPLICATION. ADAPT INSTALLATION TO SUIT CONDITIONS
 - USE LIQUID MEMBRANE RECOMMENDED BY ROOFING SYSTEM MANUFACTURER

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

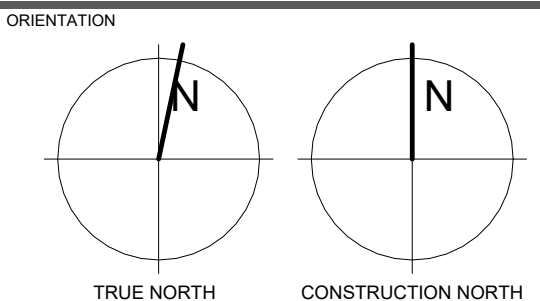
PROJECT:
YORK REGION PRS #33 RFTC
397-21
CLIENT
2960 TESTON ROAD, VAUGHAN

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ARCHITECT
THOMASBROWNARCHITECTS
187 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

DWG TITLE
**LAYOUT PLAN -
EDGE OF DECK**

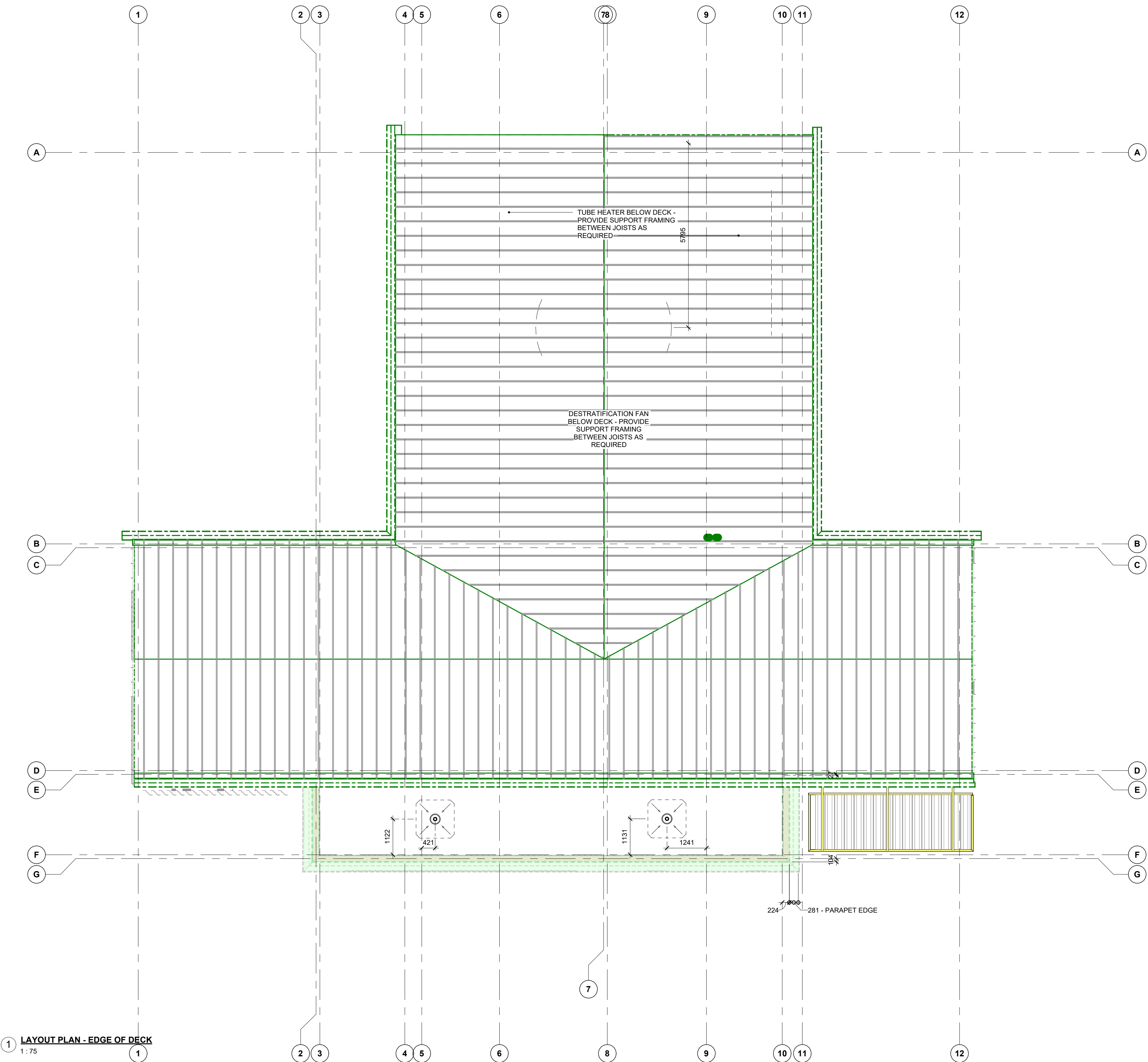


DATE
2020-11-18

PROJECT No.
1622

DRAWING No.
A4.2

REVISION
25



- LA SERIES LEGEND
IDENTIFICATION
- SHADING INDICATES FLOORS
 - INDICATES OF ROOF DECK DIMENSION
 - SHADING INDICATES ROOF DECK
- DIMENSIONING AND DETAILING
- SHADED WALLS ARE DIMENSIONED TO FACE OF STUD
 - INDICATES SLAB OR FOUNDATION WALL DEPRESSIONS
 - INDICATES ROOF DIVIDERS AND/OR FRAMED UPSTANDS WHERE ROOF DECK ABUTS VERTICAL WALL

4 / A5.1

A700 GENERAL NOTES - BUILDING ELEVATIONS

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES ETC.

2. ELEVATION DRAWINGS MAY NOT SHOW ALL PENETRATIONS. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.

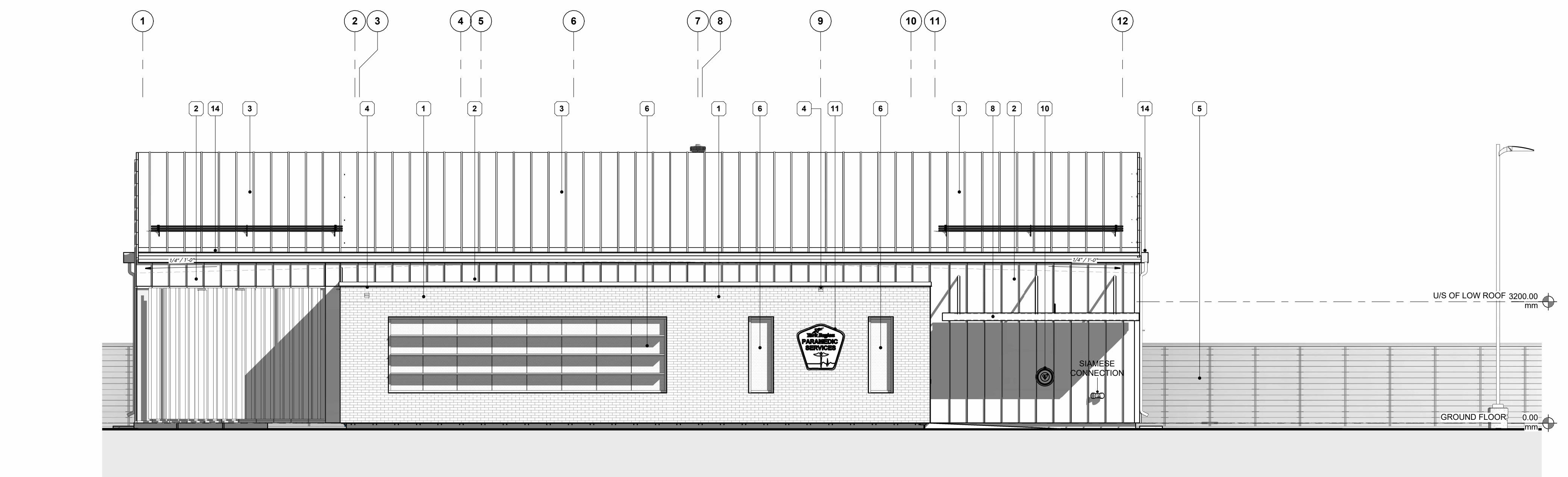
3. ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. LOCATION OF FIXTURES, DEVICES ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL GOVERN. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.

GC

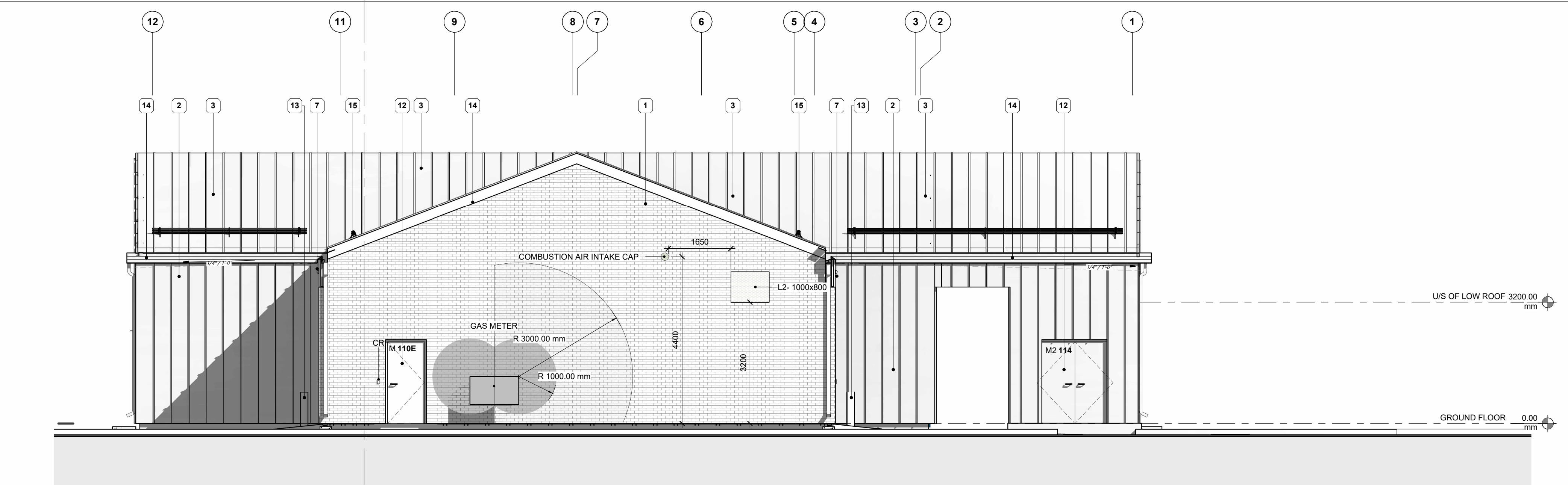
COORD

SUBSTRATES

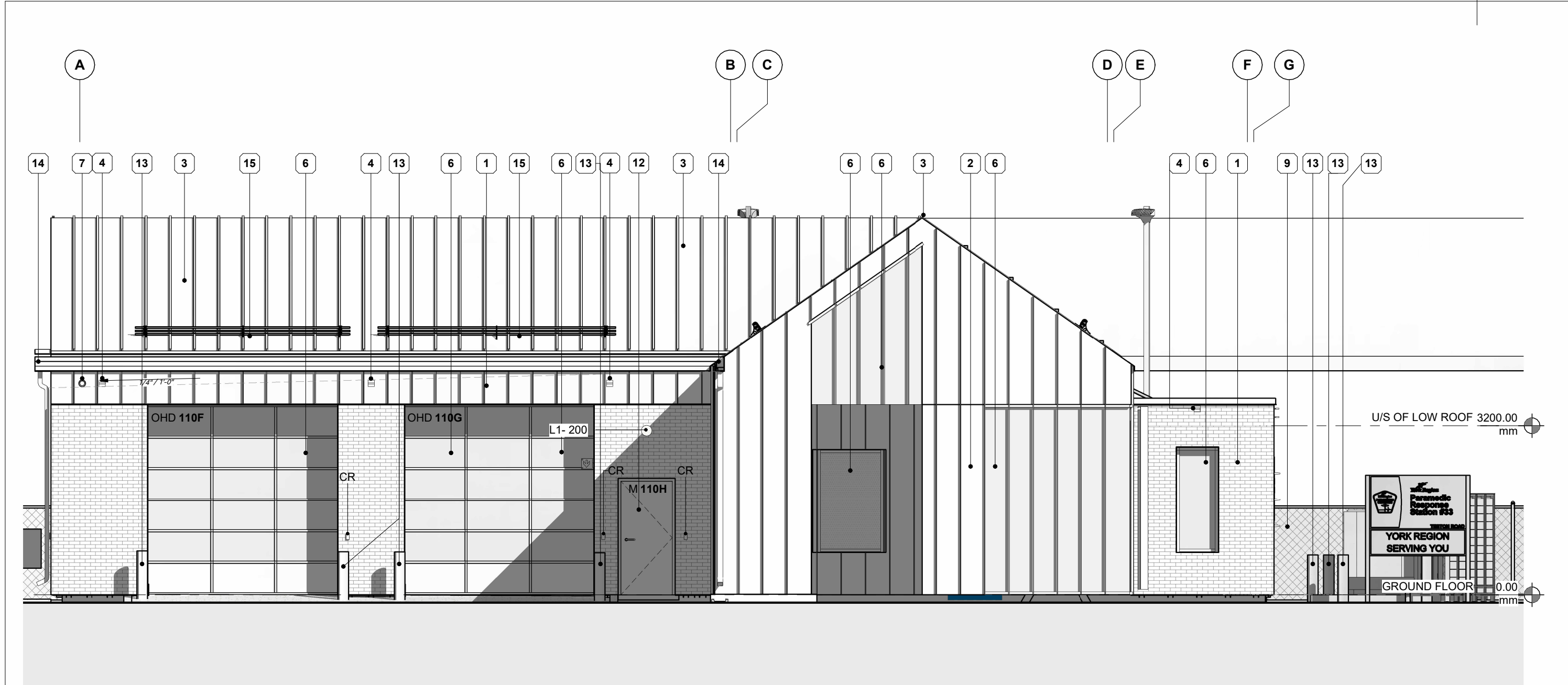
BUILDING ELEVATION NOTES	
NUMBE	NOTE
1	BRICK MASONRY VENEER
2	STANDING SEAM METAL WALL PANEL
3	STANDING SEAM METAL ROOF
4	LIGHT FIXTURE (TYP)
5	EXISTING BOARD FENCE
6	ALL GLAZING TO HAVE BIRD FRIENDLY FILM: FEATHER FRIENDLY TECHNOLOGIES, DOT SIZE 5mm, SPACING H 50mm V 100mm, GENERAL CONTRACTOR TO COORDINATE INSTALLATION
7	SECURITY CAMERA
8	ALL EXPOSED STEEL SHALL BE PAINTED
9	NEW CHAIN LINK FENCE
10	DEFIBRILLATOR - OWNER SHALL SUPPLY, CONTRACTOR TO INSTALL
11	OWNER SUPPLIED AND INSTALLED SIGNAGE
12	DOOR (STEEL)
13	BOLLARD
14	PREFINISHED FASCIA AND GUTTER
15	SNOW GUARDS



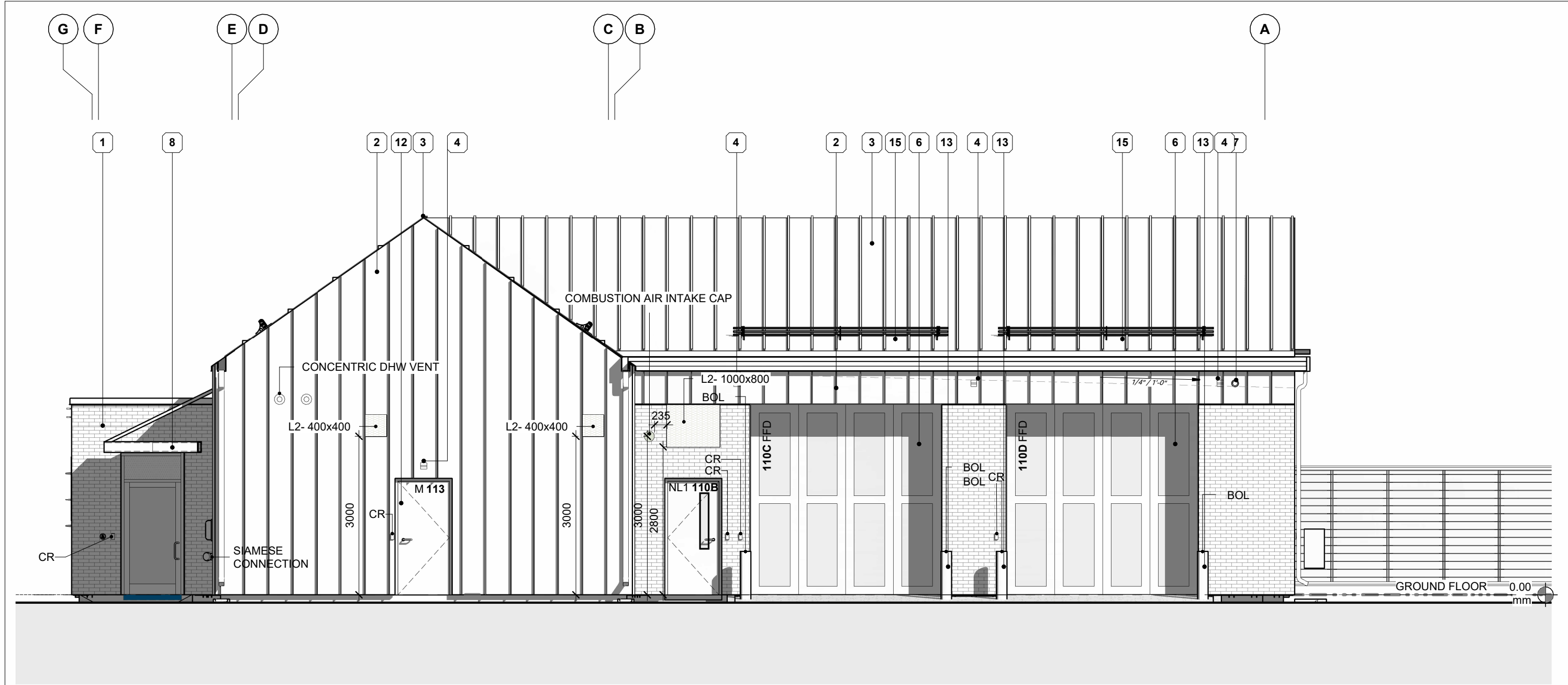
1 SOUTH ELEVATION
1:75



2 NORTH ELEVATION
1:75



5 WEST ELEVATION
1:75



3 EAST ELEVATION
1:75

THE CONTENTS OF THIS DRAWING AND SPECIFICATIONS
REMAIN THE COPYRIGHT PROPERTY OF
THOMAS BROWN ARCHITECT INC.
AND MUST BE RETURNED UPON COMPLETION OF THE WORK.

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
10	MINOR VARIANCE APPLICATION	2021.03.11
12	RESUBMISSION	2023.07.07
14	BUILDING PERMIT	2023.10.17
18	100% CLIENT REVIEW PRE-TENDER	2024-09-05
19	100% CLIENT REVIEW	2024-09-05
25	TENDER	2025-10-30
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

PROJECT: YORK REGION PRS #33 RFTC
397-21
CLIENT: 2960 TESTON ROAD, VAUGHAN

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ARCHITECT
THOMASBROWNARCHITECTS
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PROFESSIONAL SEAL

DWG TITLE
BUILDING
ELEVATIONS

ORIENTATION

DATE	2020-11-18
PROJECT No.	1622
DRAWING No.	A5.1
REVISION	25

2026-06-03 12:32:13 PM

ISSUE OR REVISION		
NO.	ISSUED FOR	DATE
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
22	ADDENDUM #7	2026-01-21
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PROJECT :

CLIENT

PROFESSIONAL SEAL

DWG TITLE

ORIENTATION

DATE

PROJECT NO.

DRAWING NO.

REVISION

2020-11-18

1622

A6.1

25

YORK REGION PRS #33 RFTC

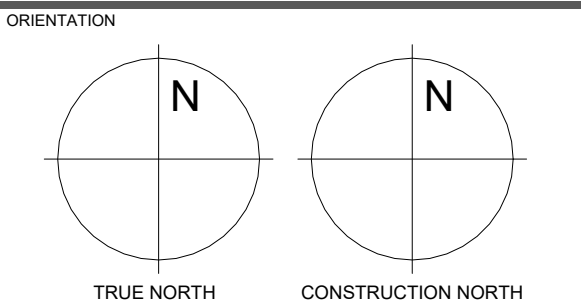
397-21

2960 TESTON ROAD, VAUGHAN

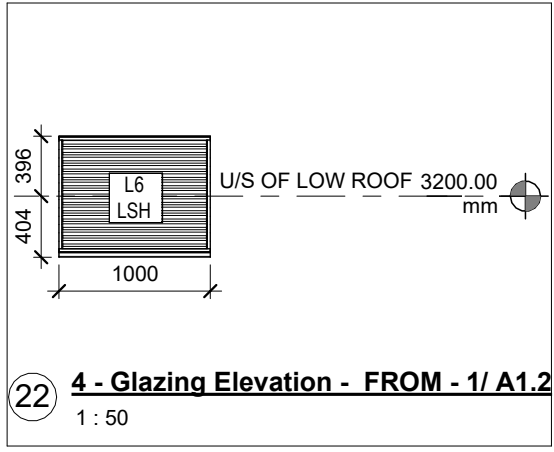
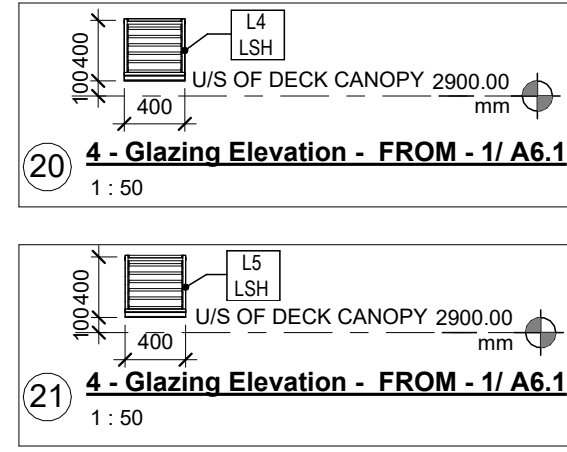
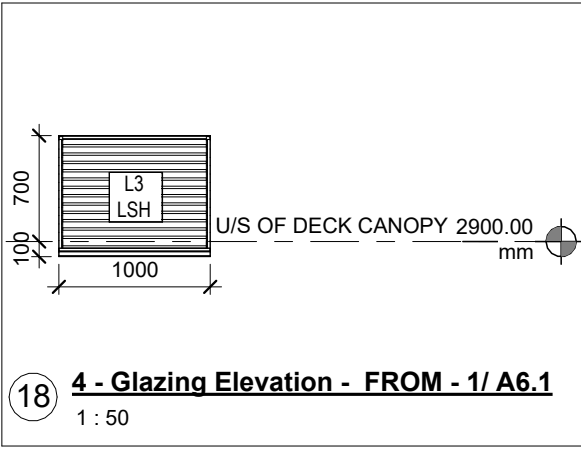
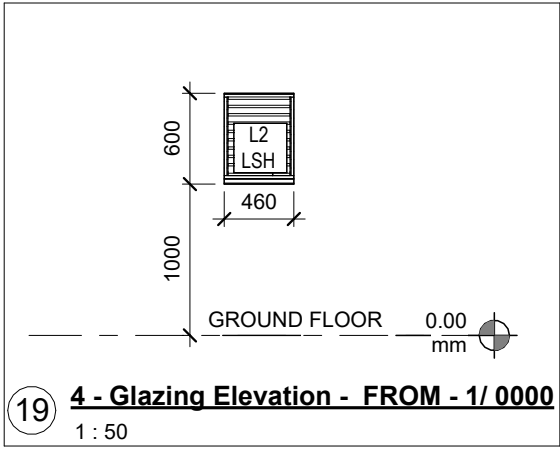
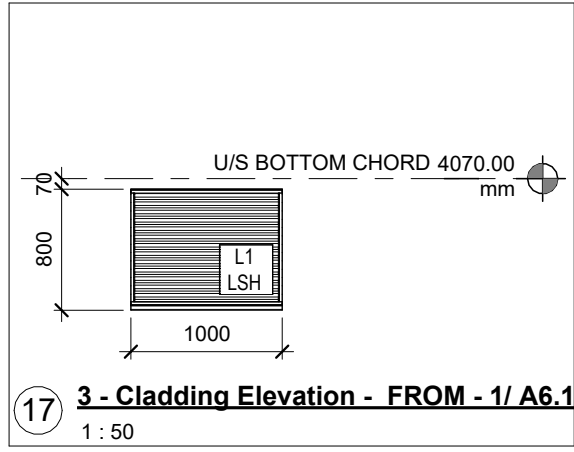
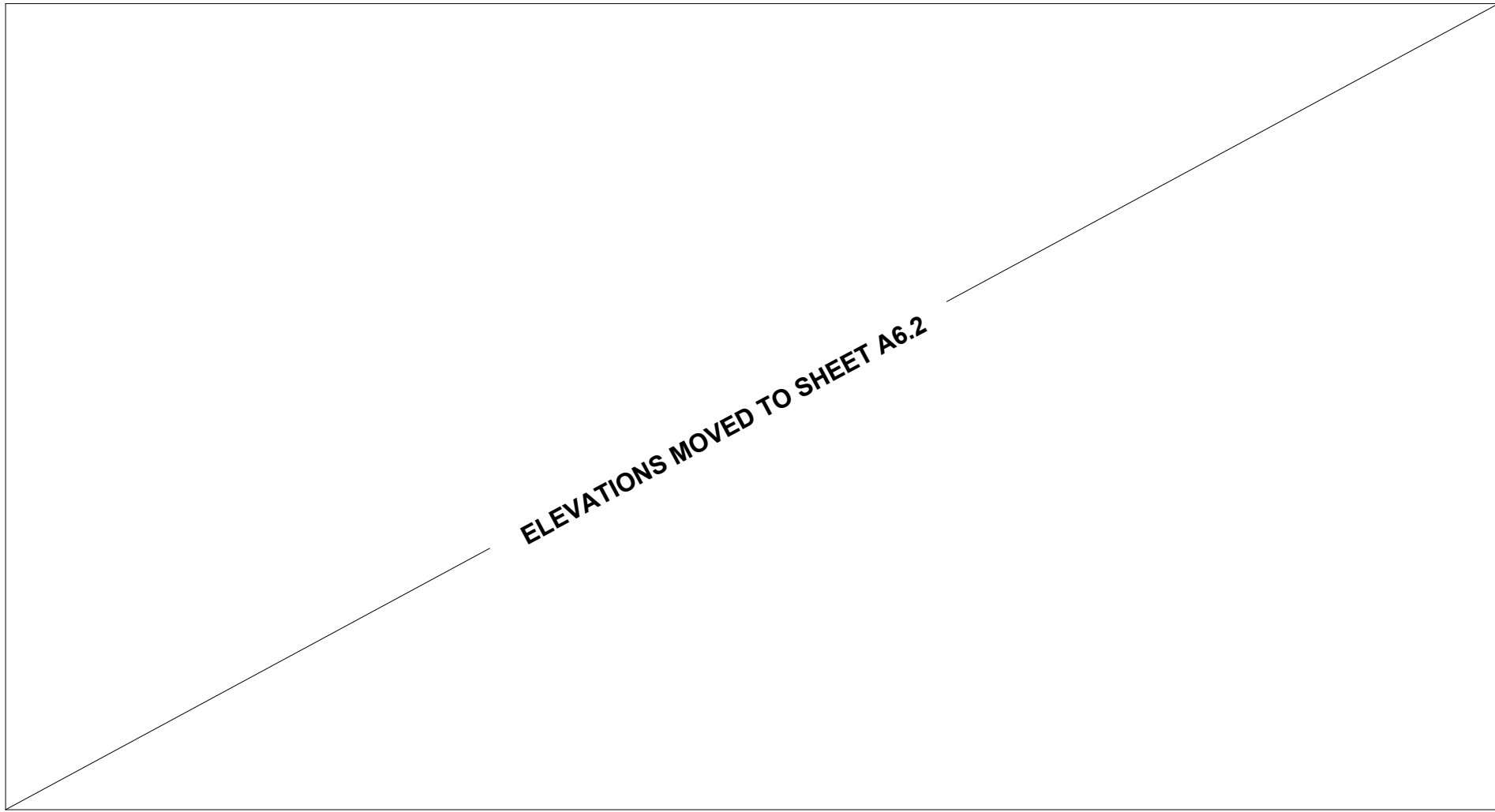
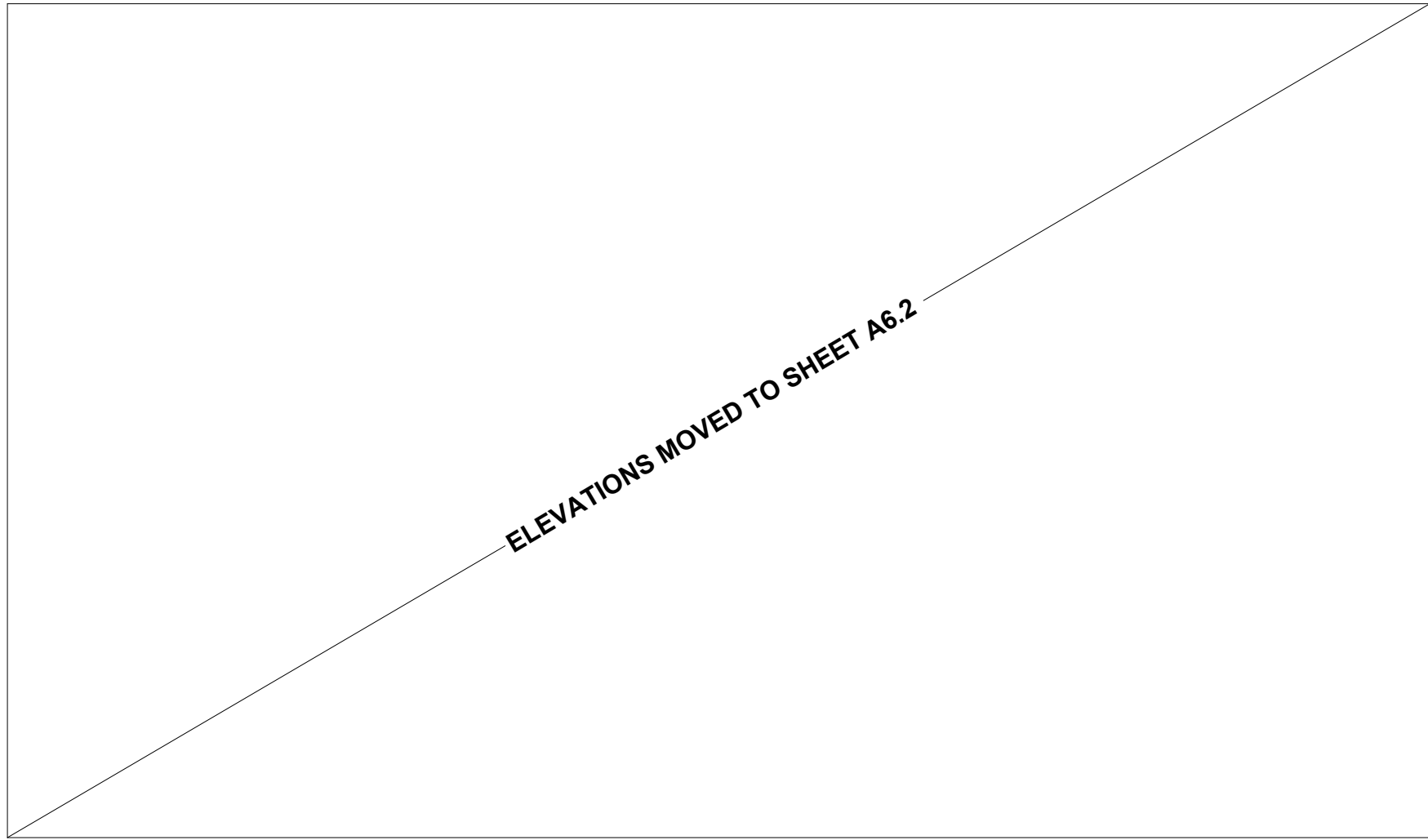
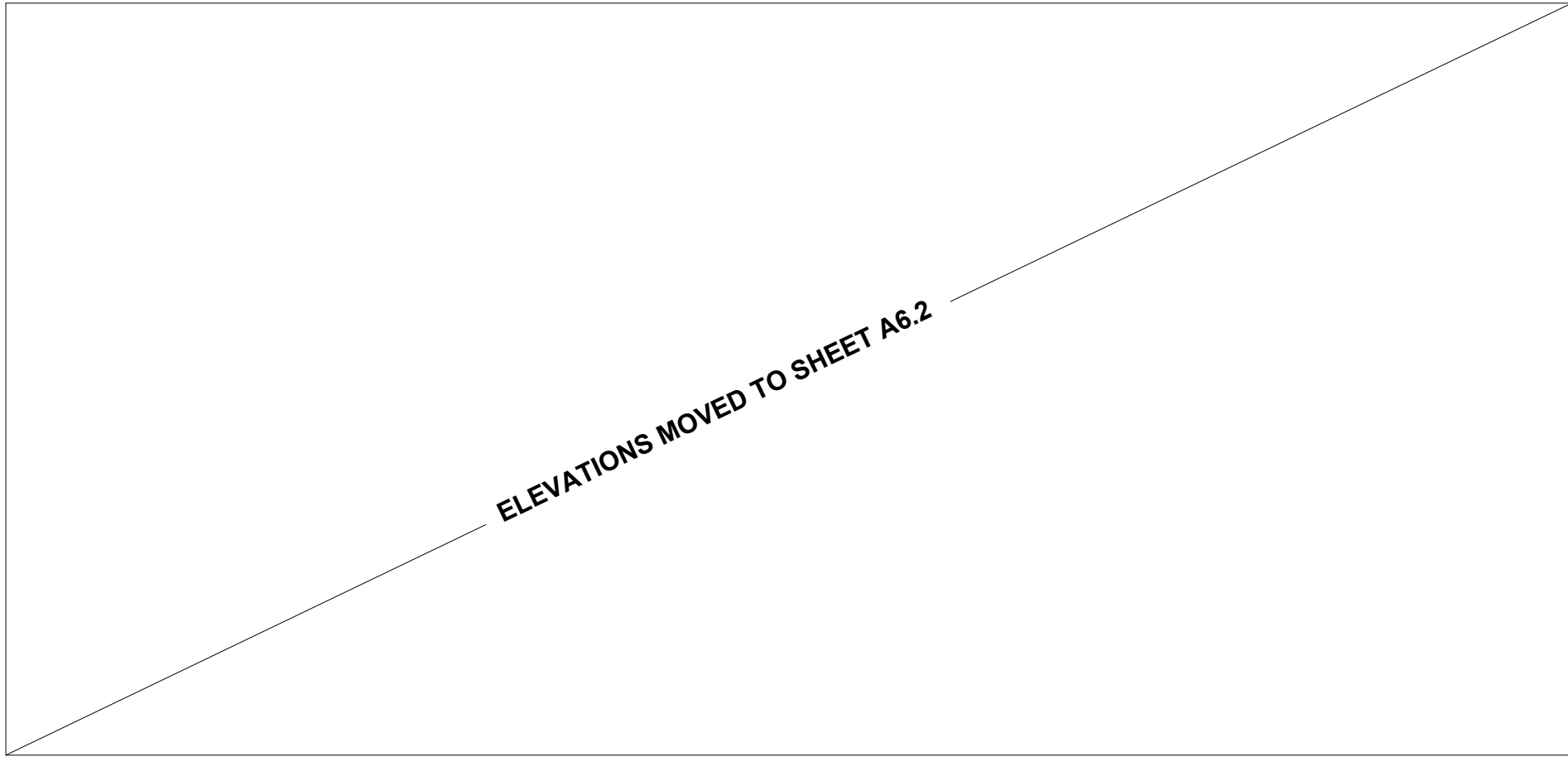
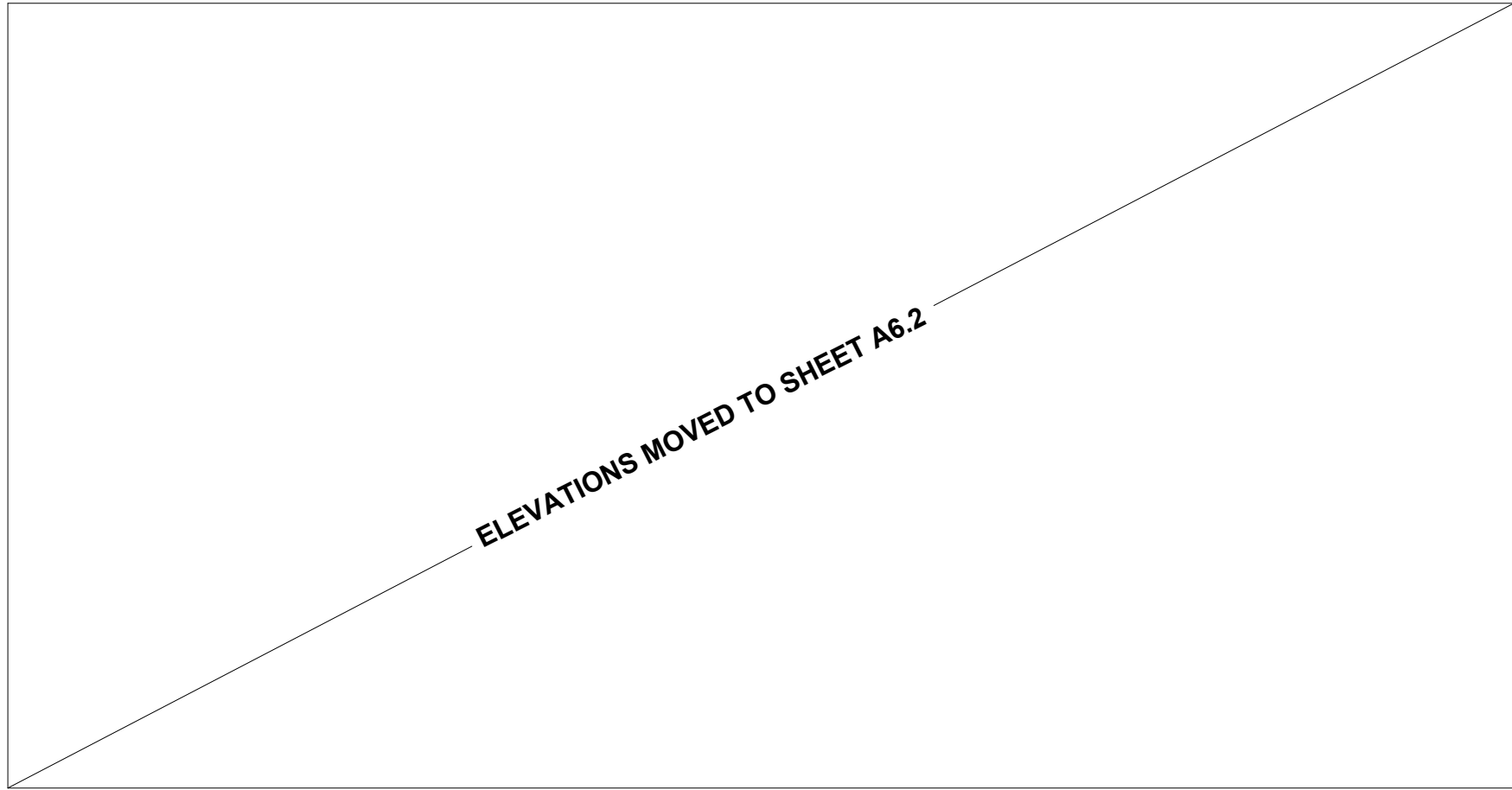
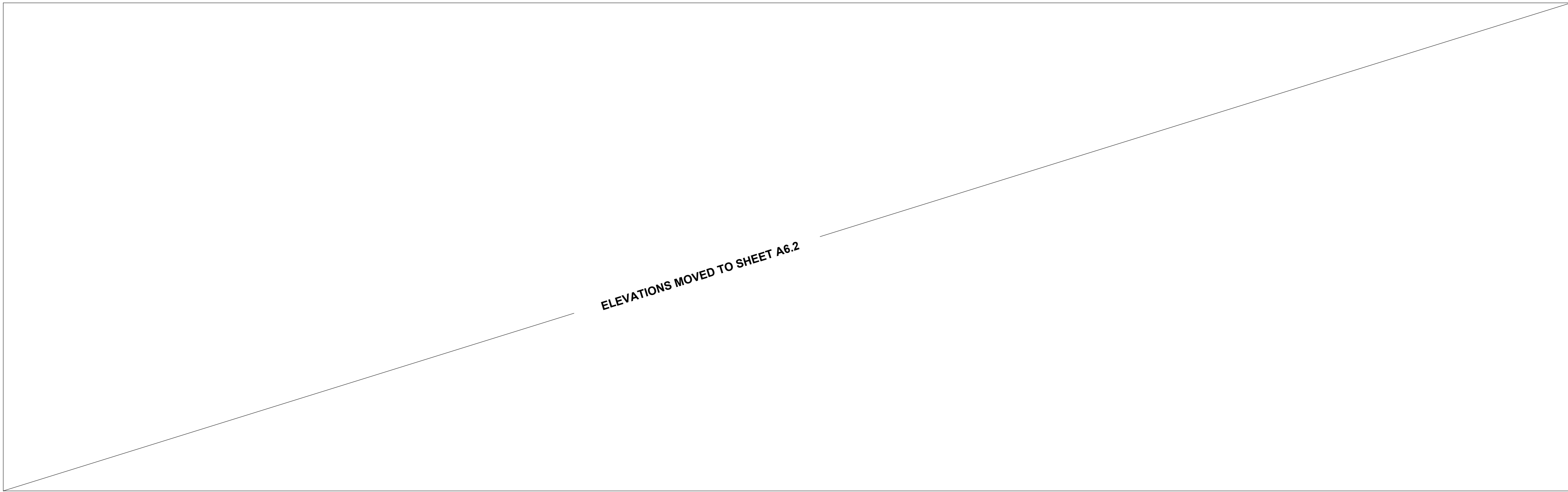
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ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

CLADDING, GLAZING
AND LOUVER
ELEVATIONS



2026-06-03 12:32:17 PM



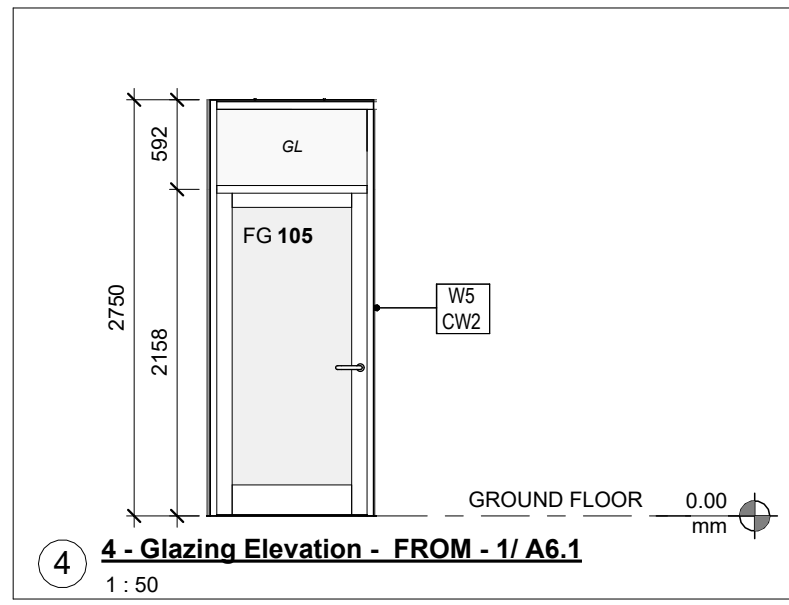
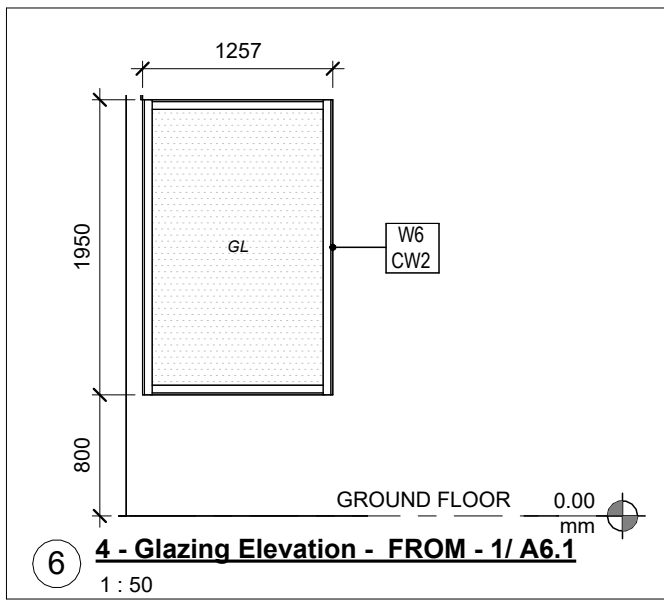
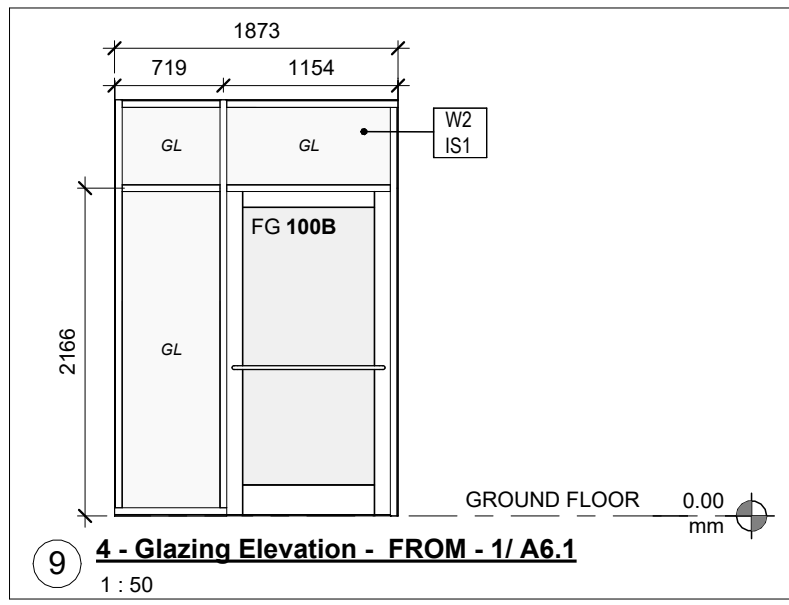
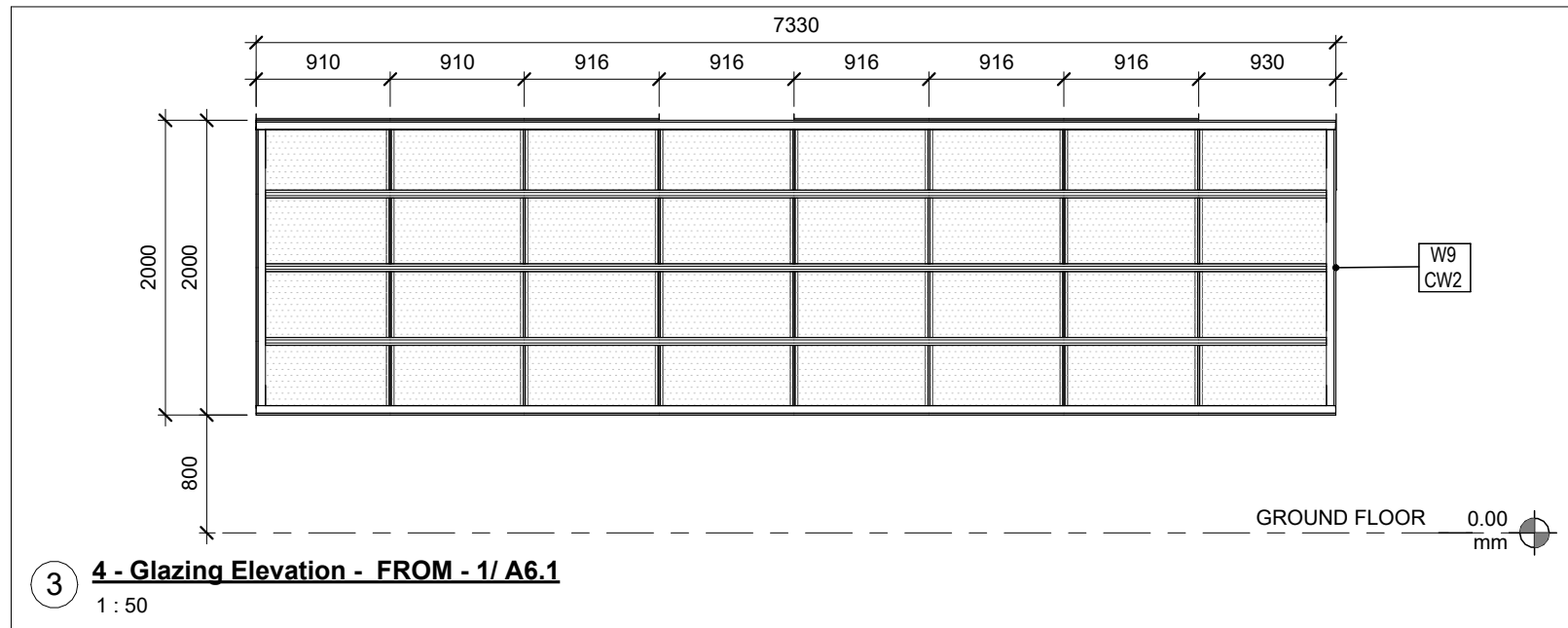
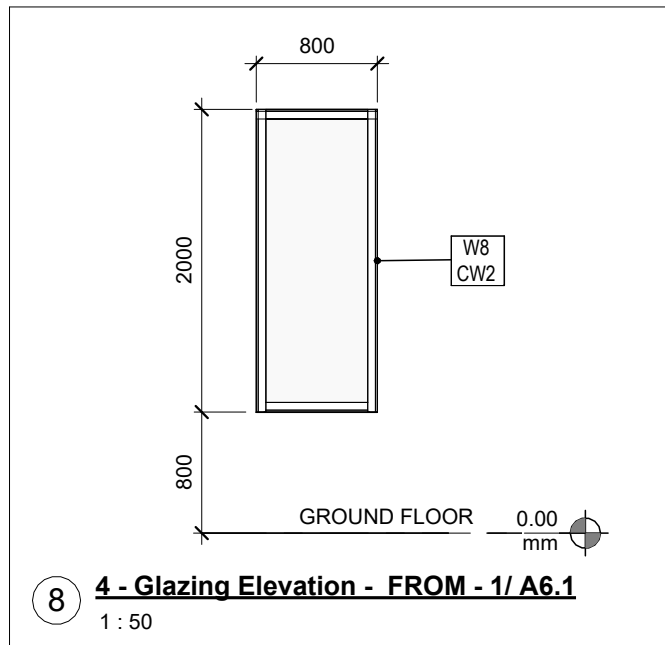
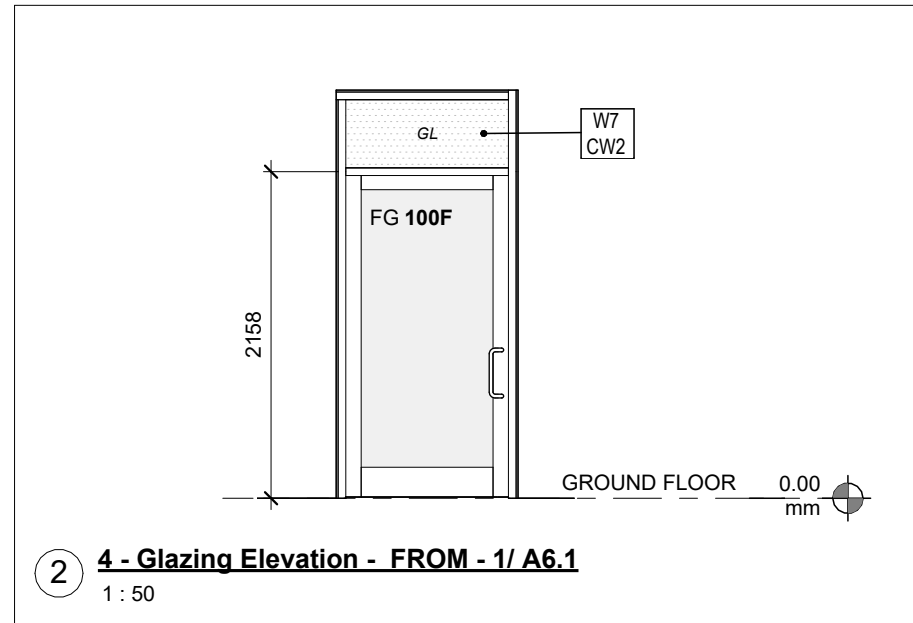
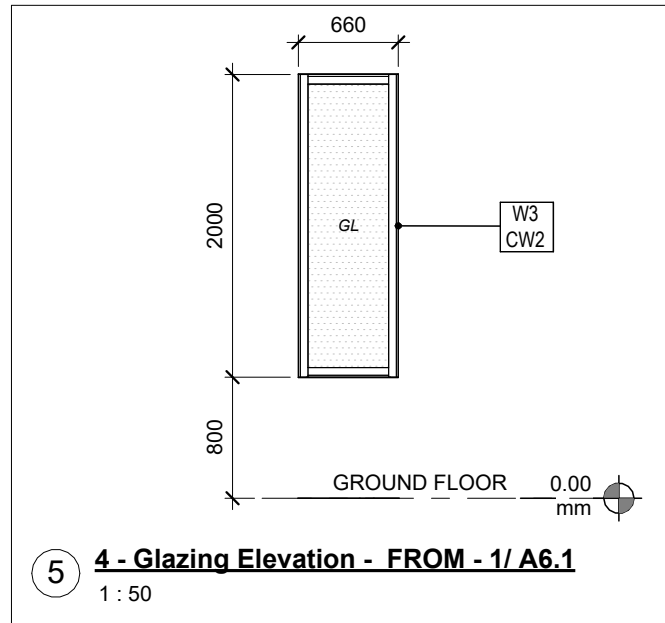
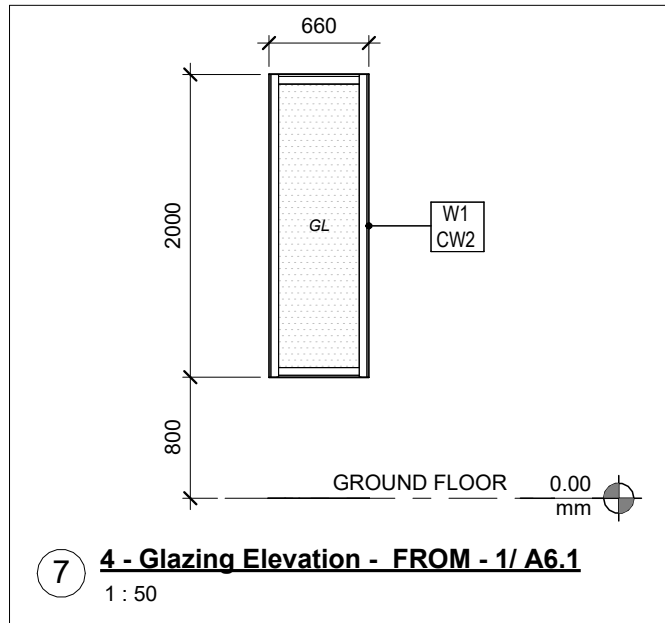
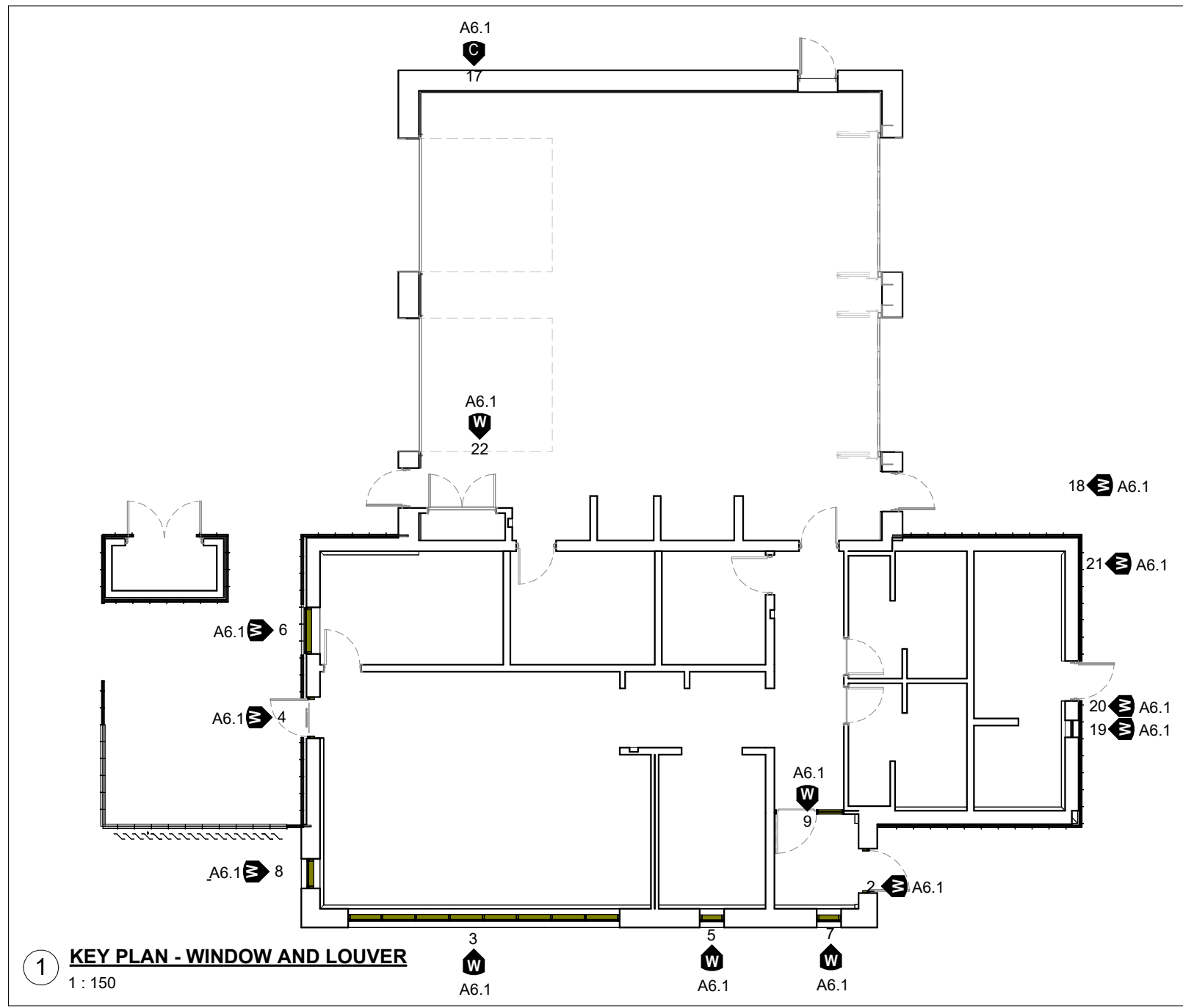
SCHEDULE WINDOW - BASIS OF DESIGN

TYPE	SPECIFIED BASIS OF DESIGN
W1	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W2	BASIS OF DESIGN KAWNEER 451 OR EQUIVALENT
W3	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W4	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W5	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W6	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W7	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W8	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT
W9	BASIS OF DESIGN KAWNEER 1620 SSG OR EQUIVALENT

SCHEDULE LOUVER - BASIS OF DESIGN

TYPE	SPECIFIED BASIS OF DESIGN
L1	BASIS OF DESIGN MCGILL HP 245 OR EQUIVALENT
L2	BASIS OF DESIGN MCGILL HP 245 OR EQUIVALENT
L3	BASIS OF DESIGN MCGILL HP 245 OR EQUIVALENT
L4	BASIS OF DESIGN MCGILL HP 245 OR EQUIVALENT
L5	BASIS OF DESIGN MCGILL HP 245 OR EQUIVALENT
L6	BASIS OF DESIGN MCGILL HP 245 OR EQUIVALENT

*CONTRACTOR SHALL COORDINATE WITH MECHANICAL
DRAWINGS FOR INTAKE AND EXHAUST ACTIVE LOUVER
LOCATIONS.



2960 TESTON ROAD, VAUGHAN

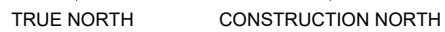
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PROFESSIONAL SEAL

DWG TITLE

ORIENTATION

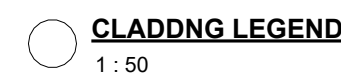


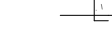
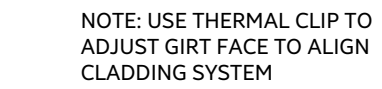
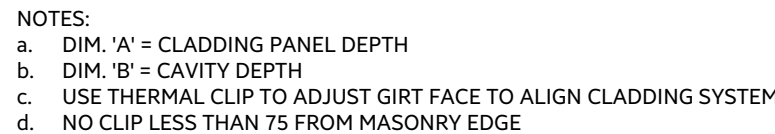
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12	BUILDING PERMIT	2023.07.07
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21	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

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397-21

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DWG TITLE

BUILDING SECTIONS

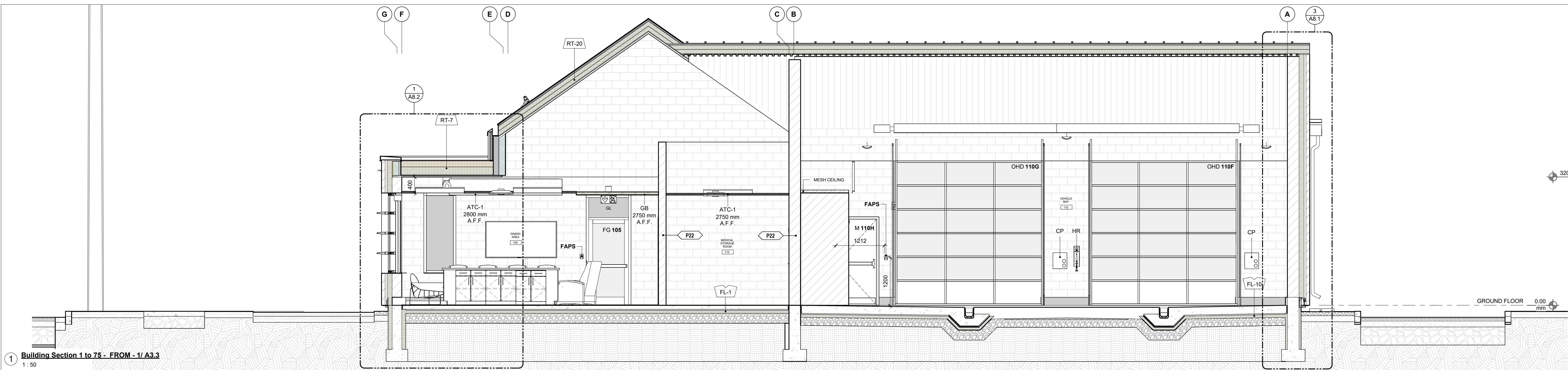
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DATE 2020-11-18

PROJECT No. 1622

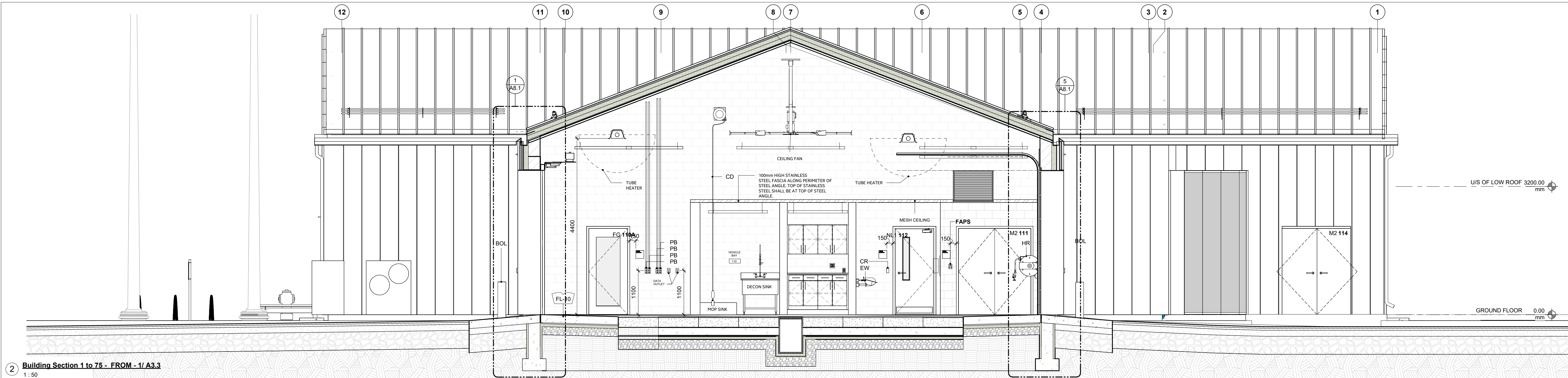
DRAWING No. A7.1

REVISION 25



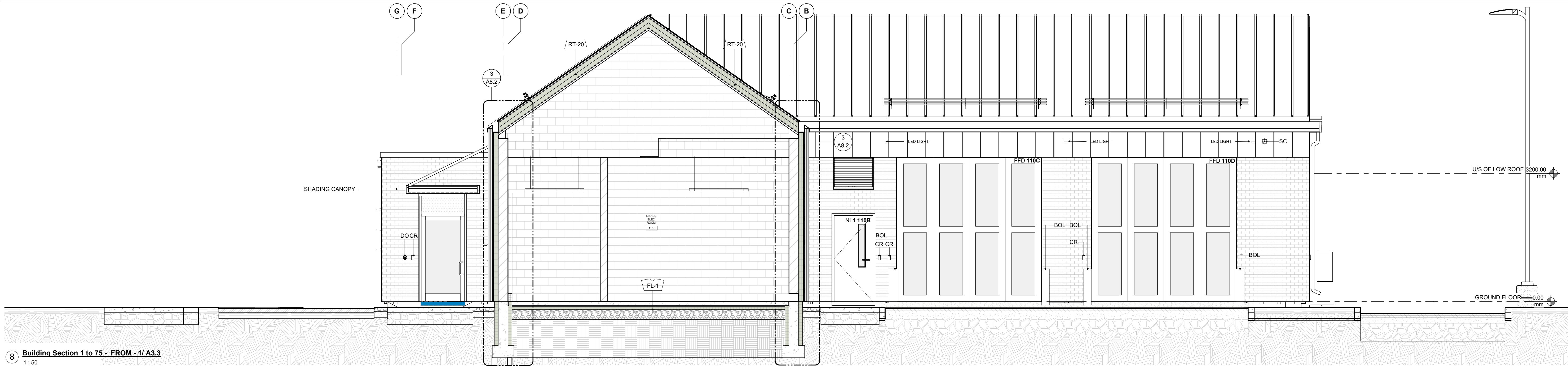
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1:50



2 Building Section 1 to 75 - FROM - 1/ A3.3

1:50



8 Building Section 1 to 75 - FROM - 1/ A3.3

1:50

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22	ADDENDUM #7	2026-01-21
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

**YORK REGION PRS #33 RFTC
397-21**

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PROFESSIONAL SEAL

DWG TITLE

BUILDING SECTIONS

ORIENTATION

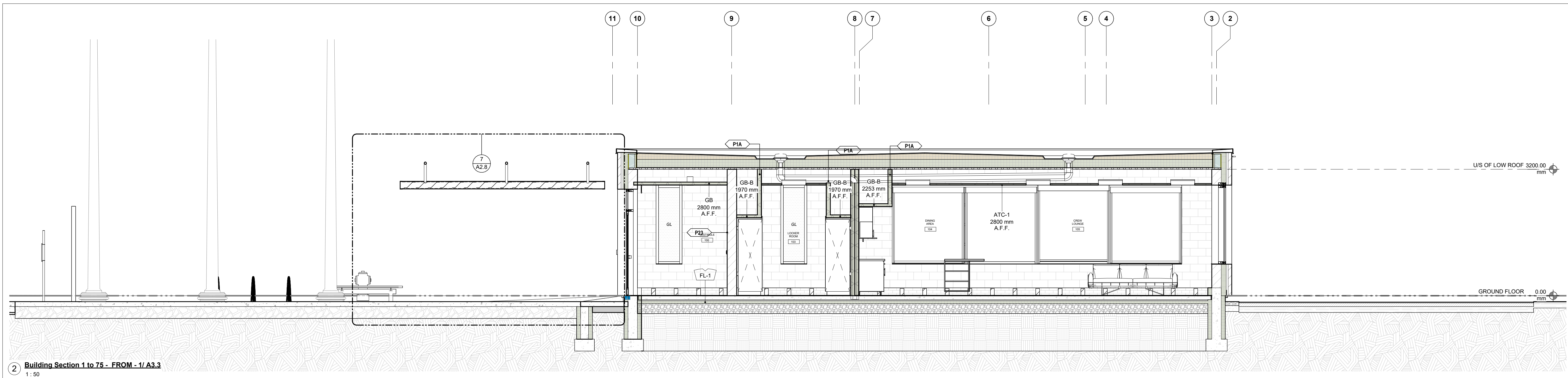
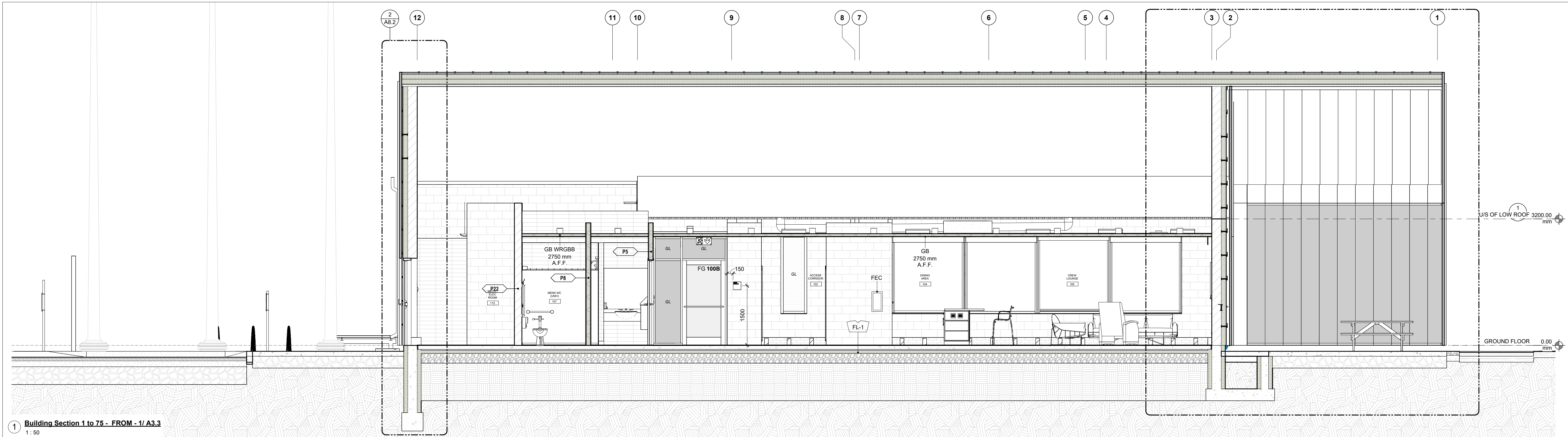
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PROJECT No. 1622

DRAWING No. **A7.2**

REVISION

25



2026-06-03 12:32:29 PM

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CLIENT

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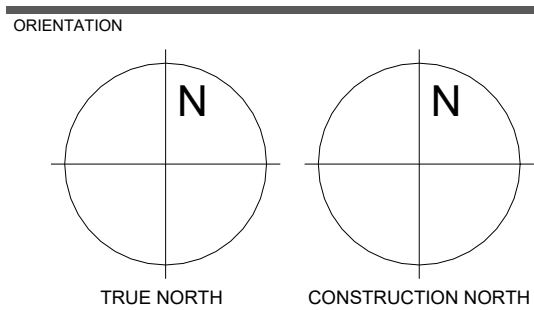
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PROFESSIONAL SEAL

DWG TITLE

WALL SECTIONS



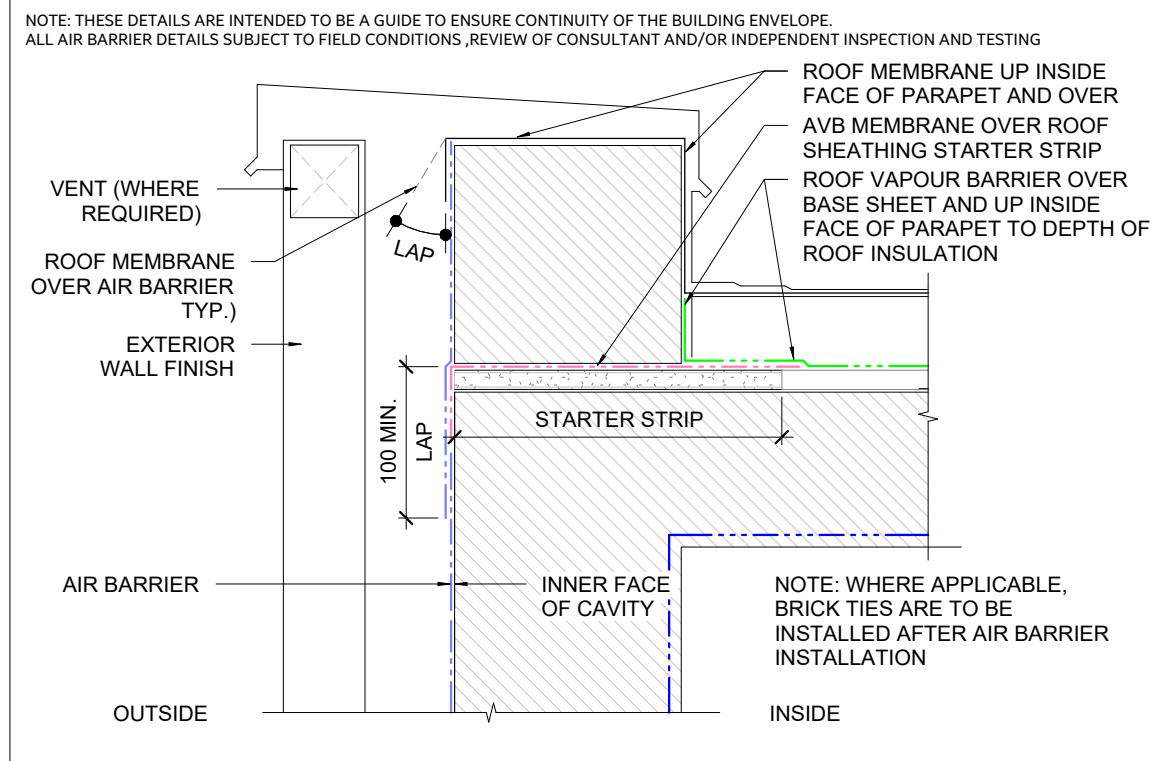
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2020-11-18

PROJECT No.
1622

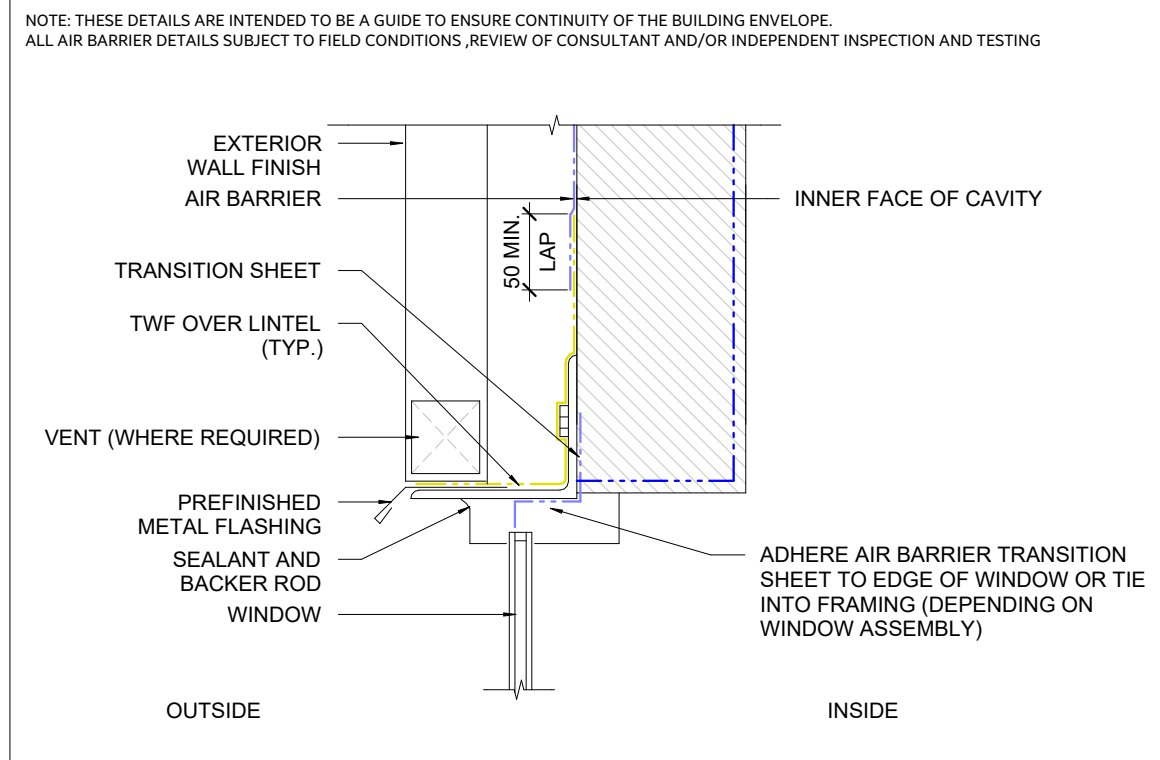
DRAWING No.
A8.1

REVISION
25

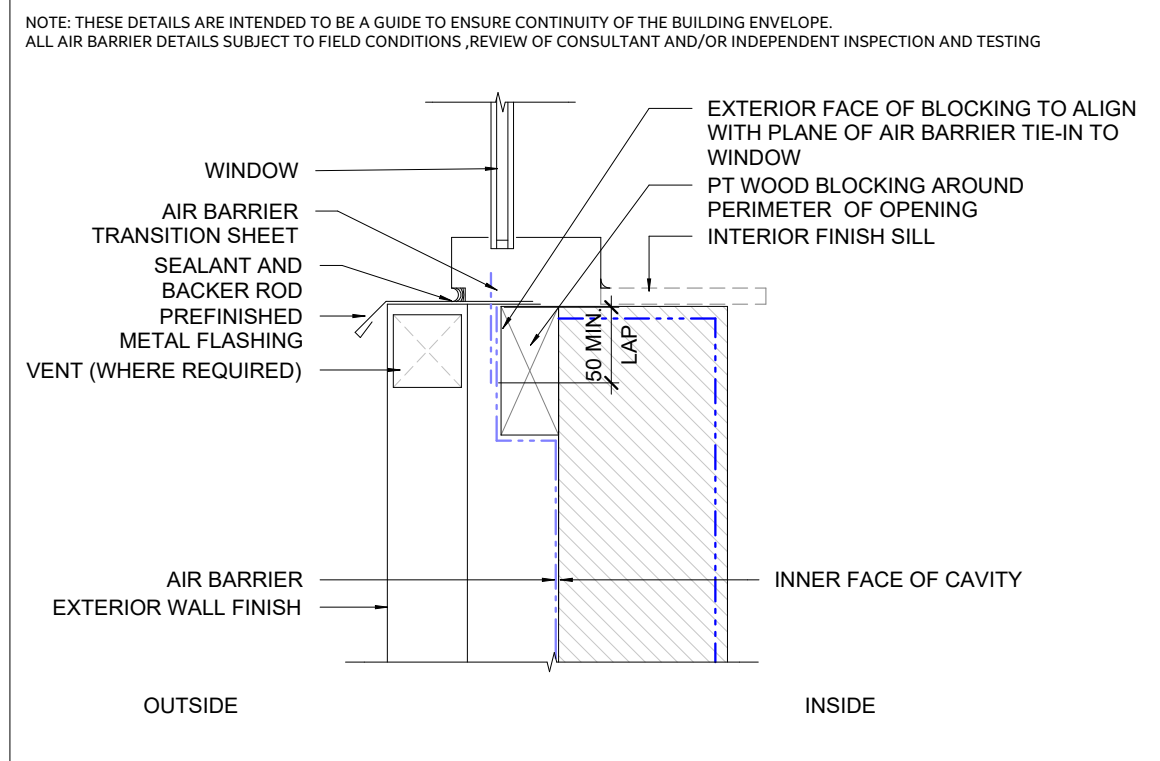
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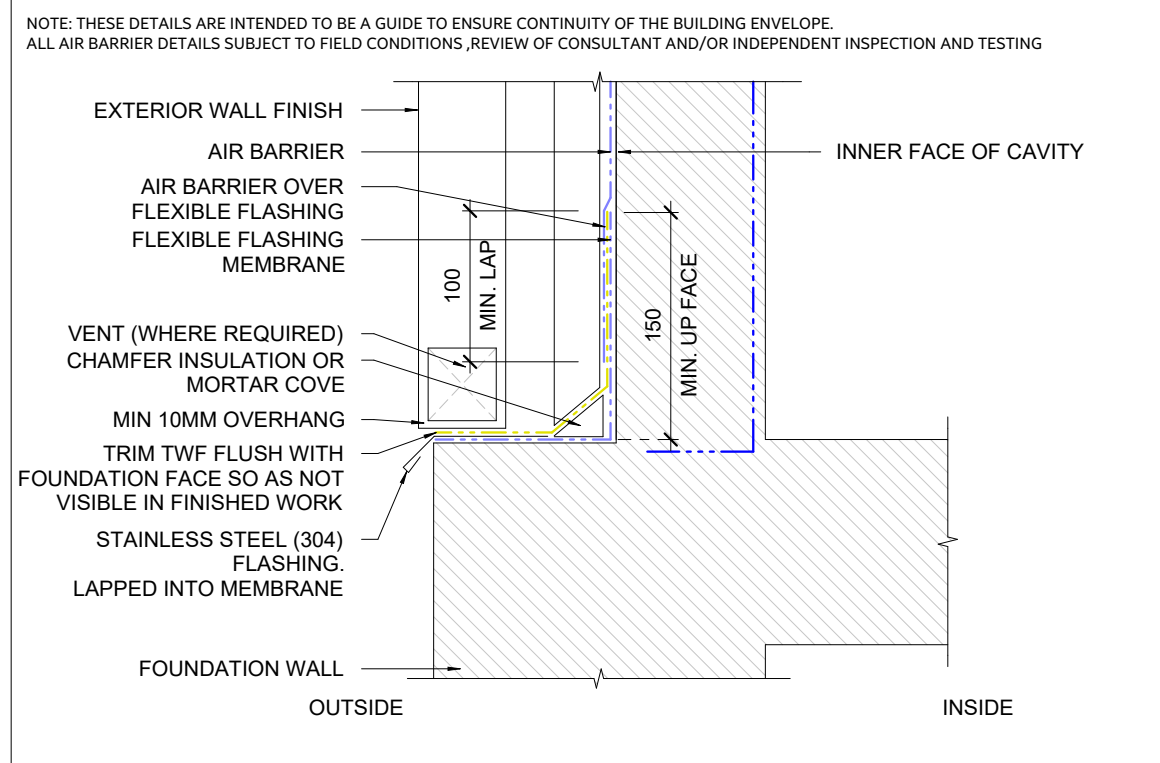
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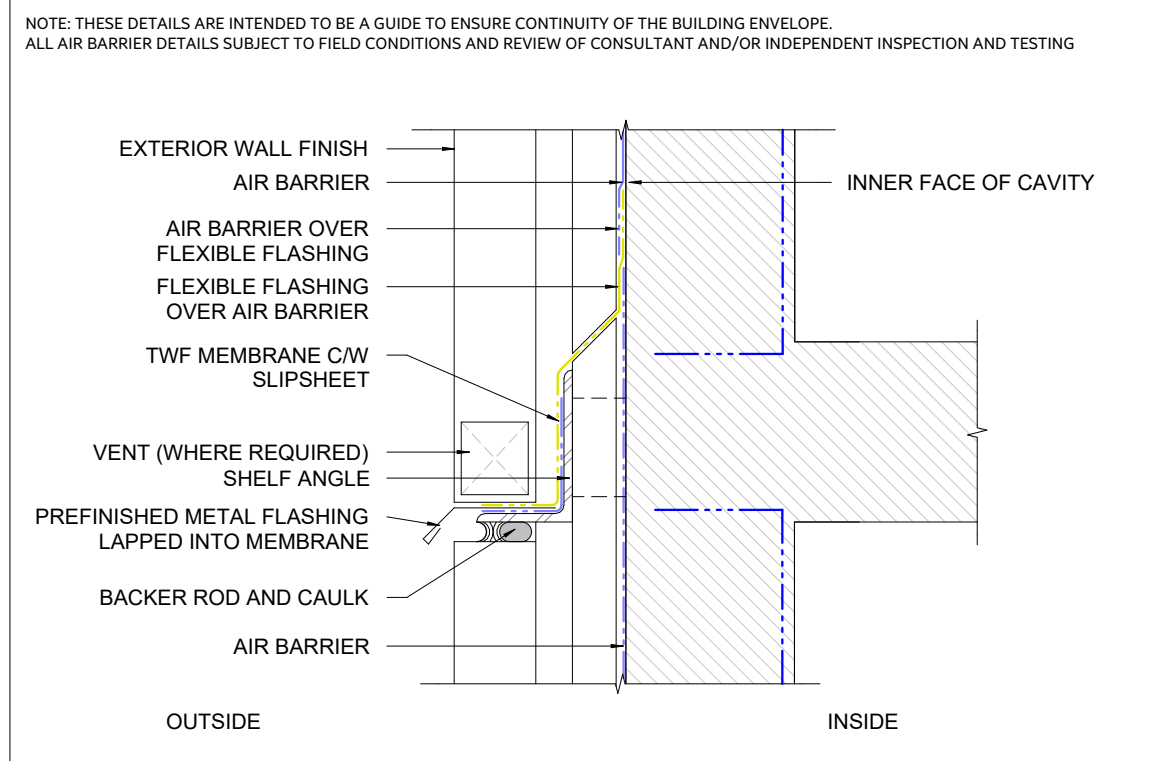
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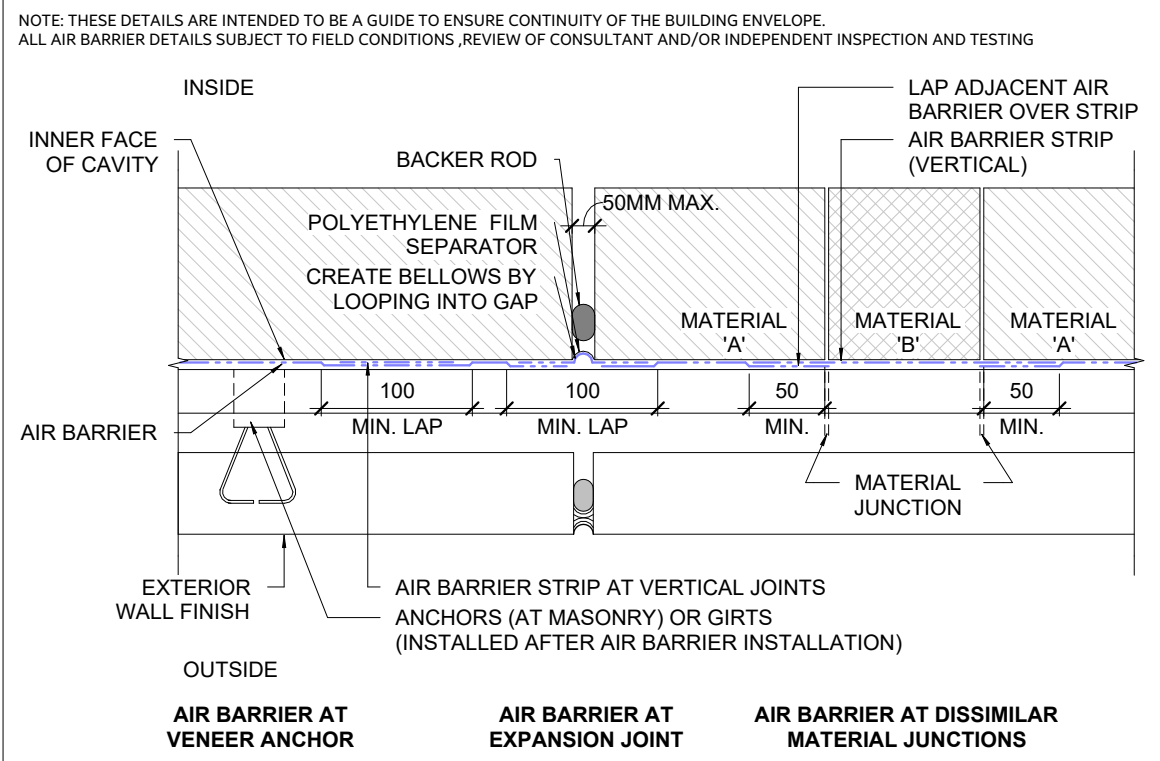
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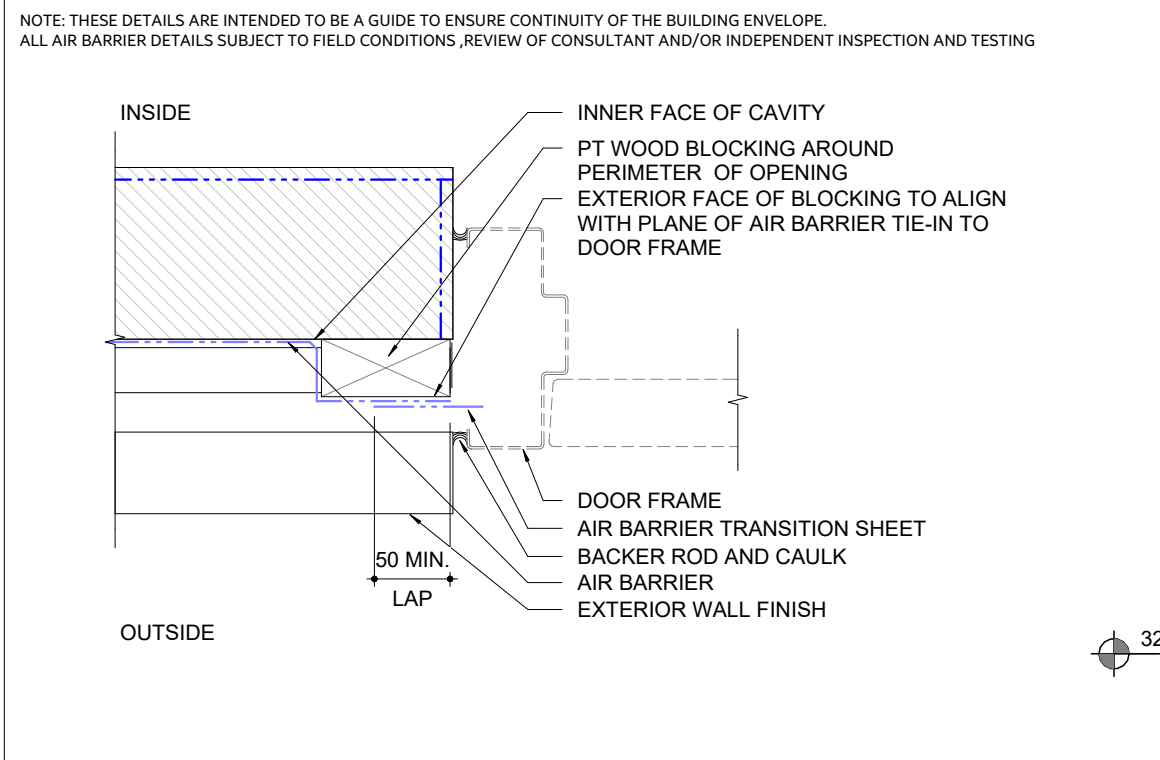
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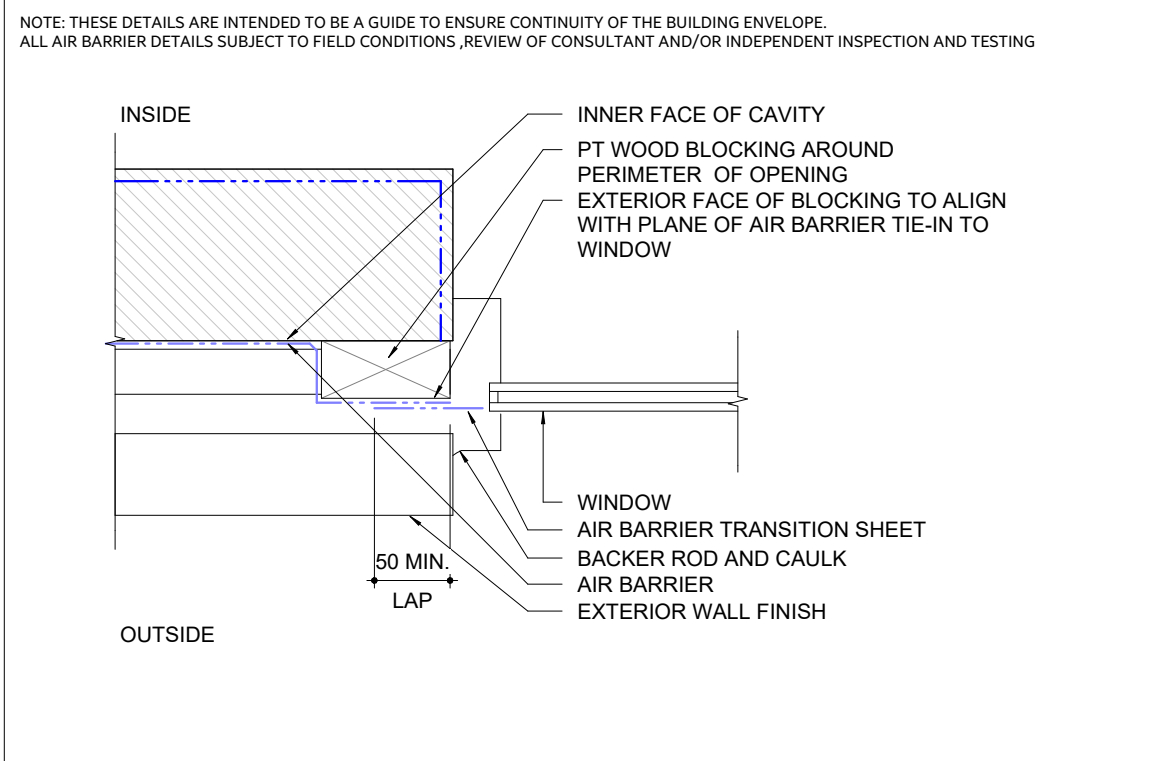
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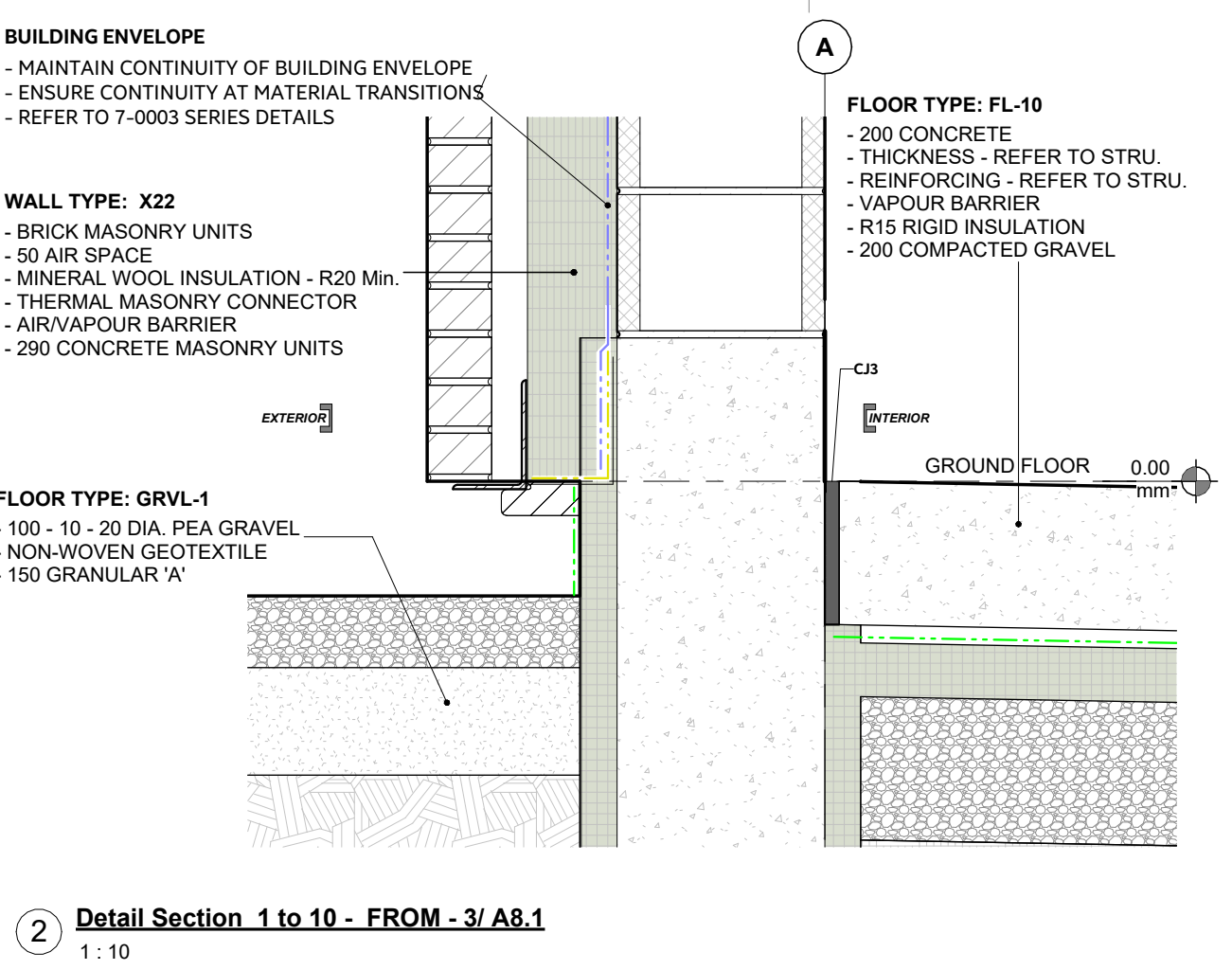
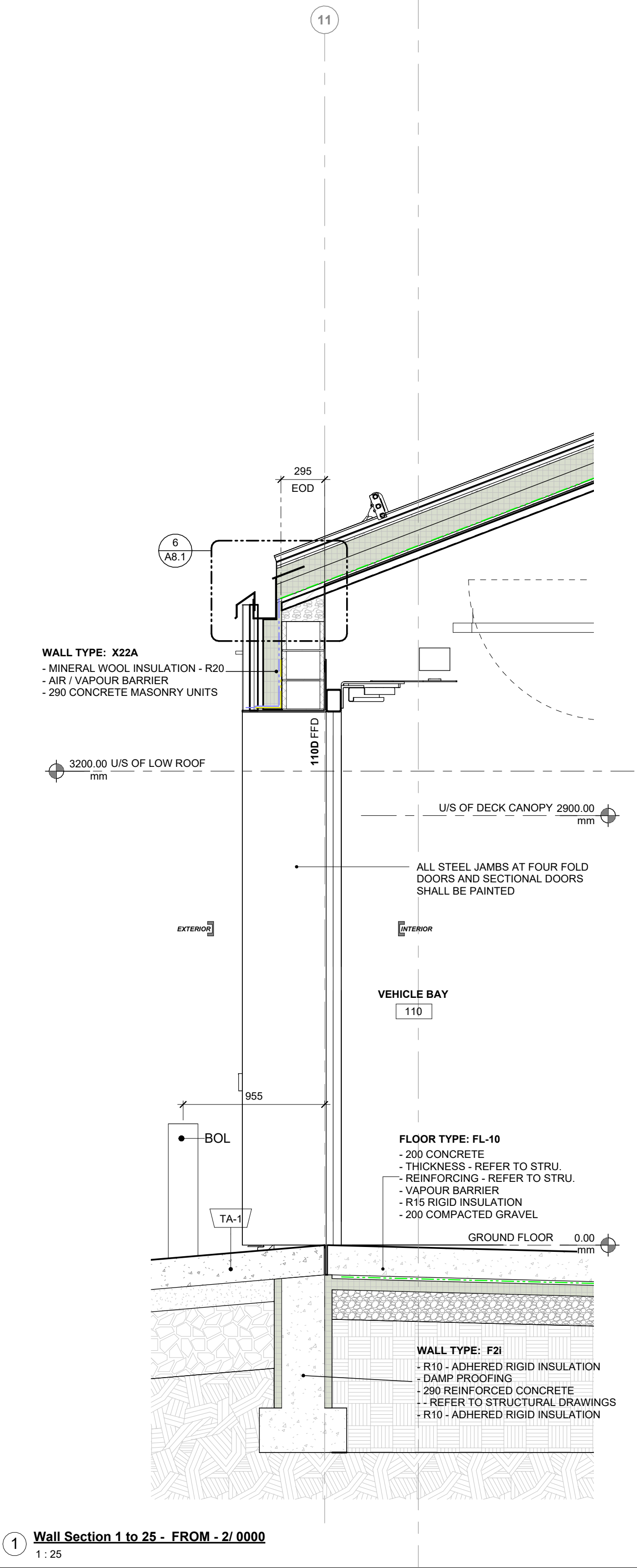
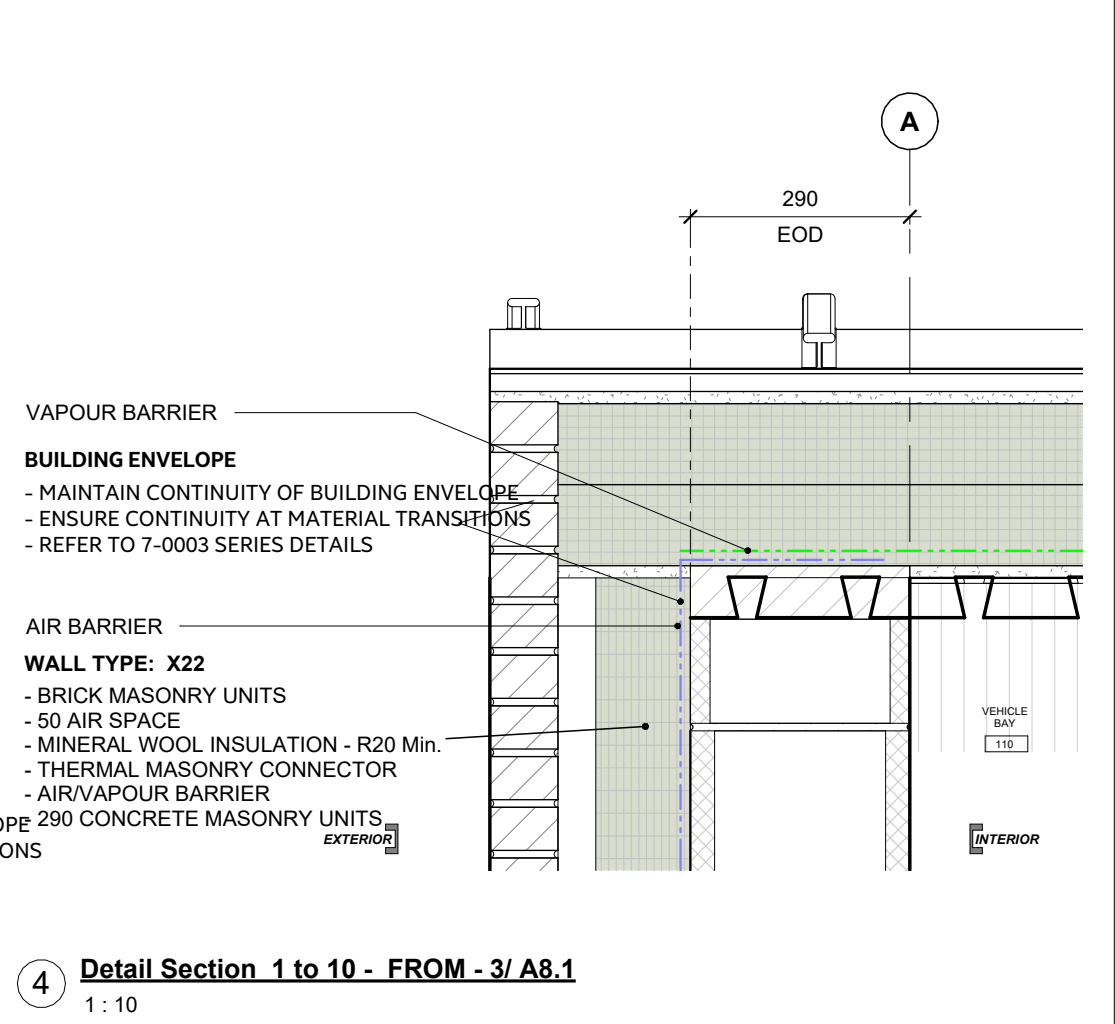
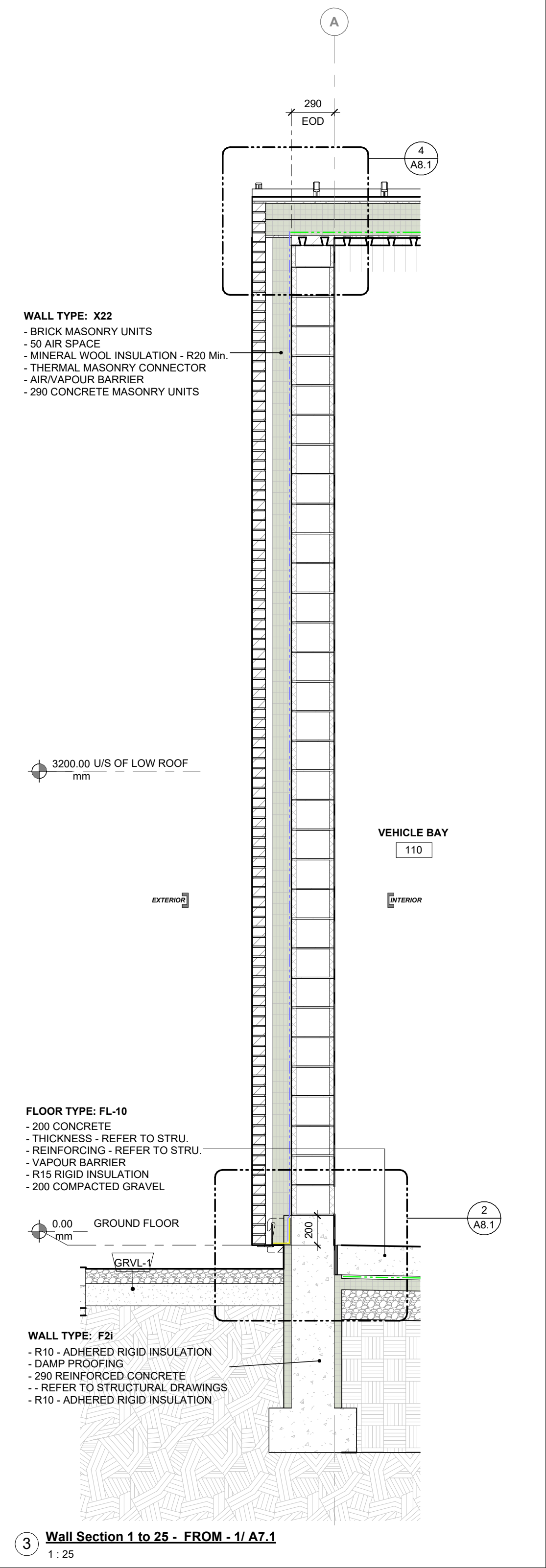
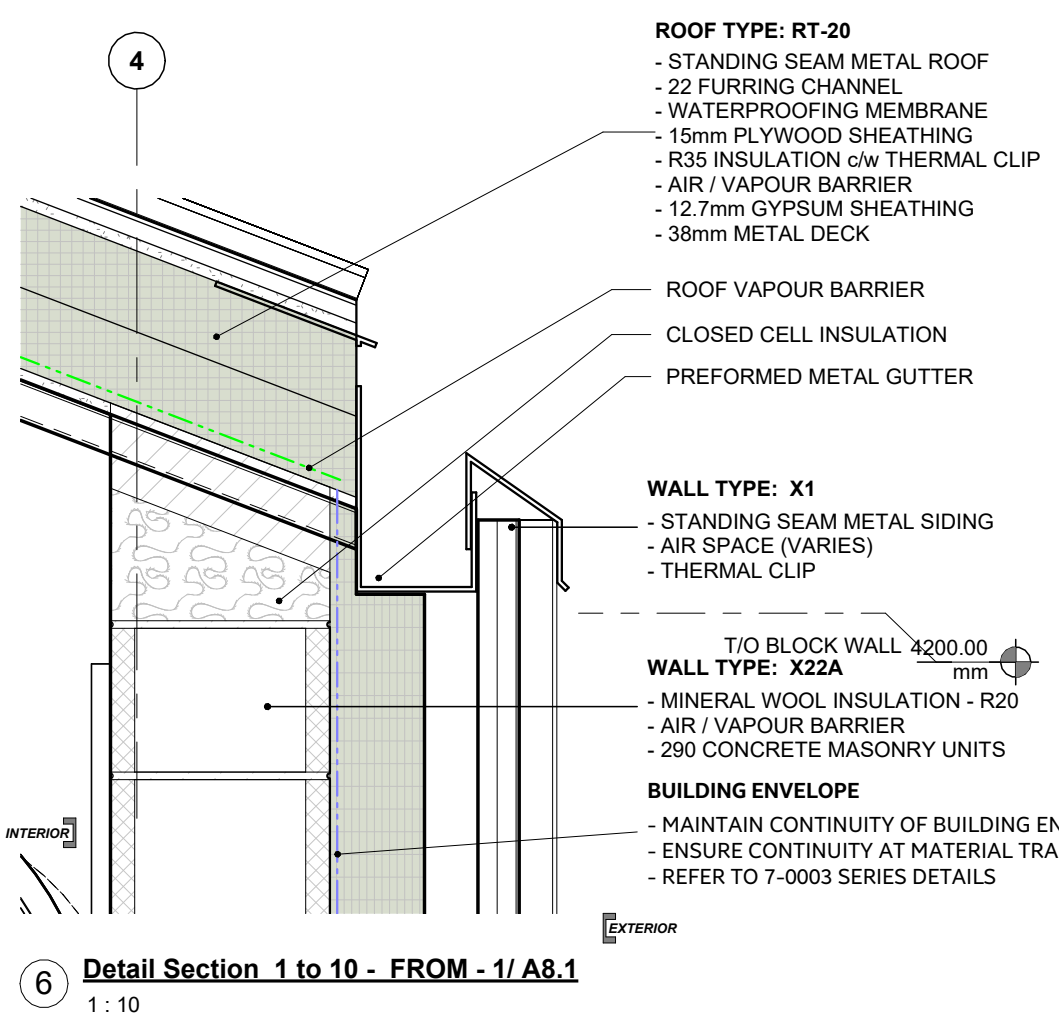
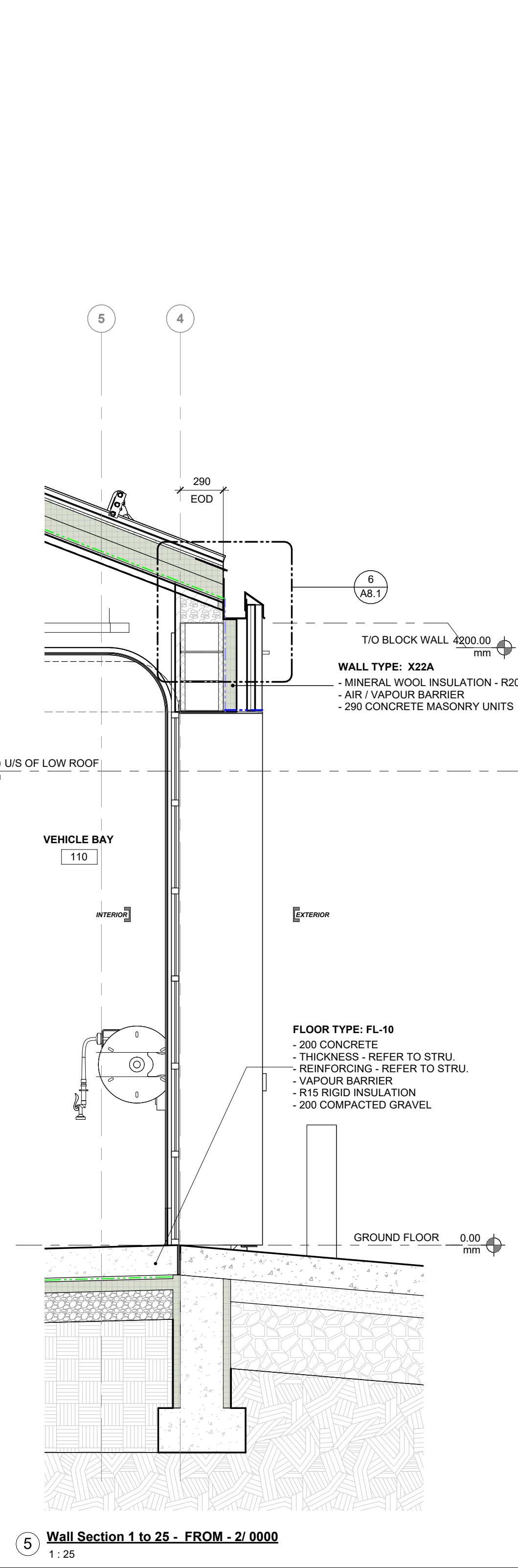
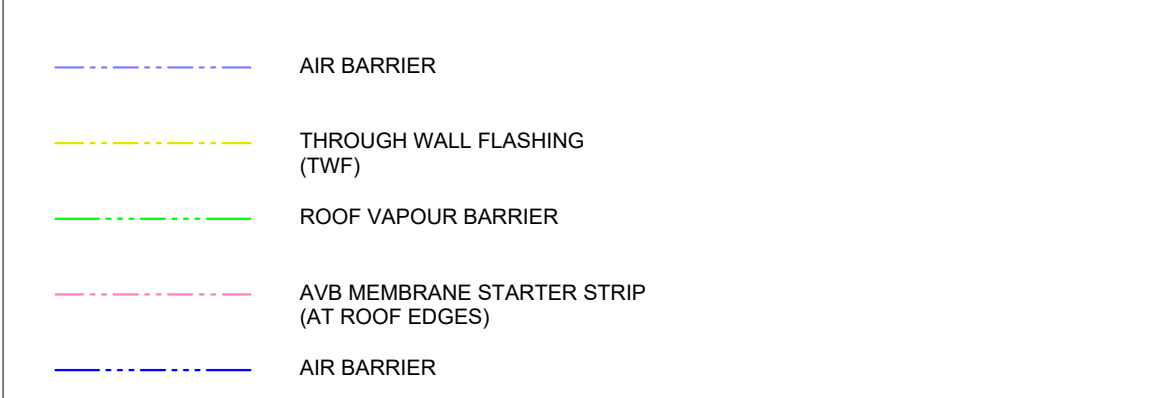
§ TYPICAL AIR BARRIER DETAIL AT DOOR FRAME - PLAN 7-0056 - AB-1 - AIR BARRIER DETAILS



§ TYPICAL AIR BARRIER DETAIL AT WINDOW JAMB - PLAN 7-0053 - AB-1 - AIR BARRIER DETAILS



7-0051 - AB-1 - AIR BARRIER LEGEND



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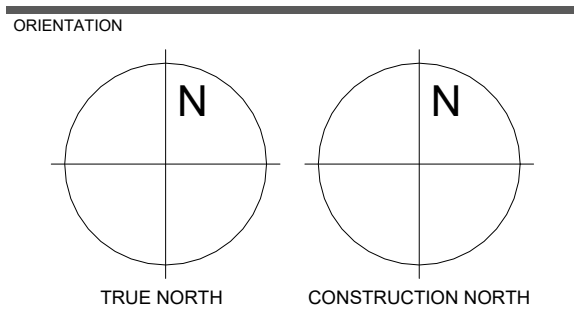
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PROFESSIONAL SEAL

DWG TITLE
WALL SECTIONS

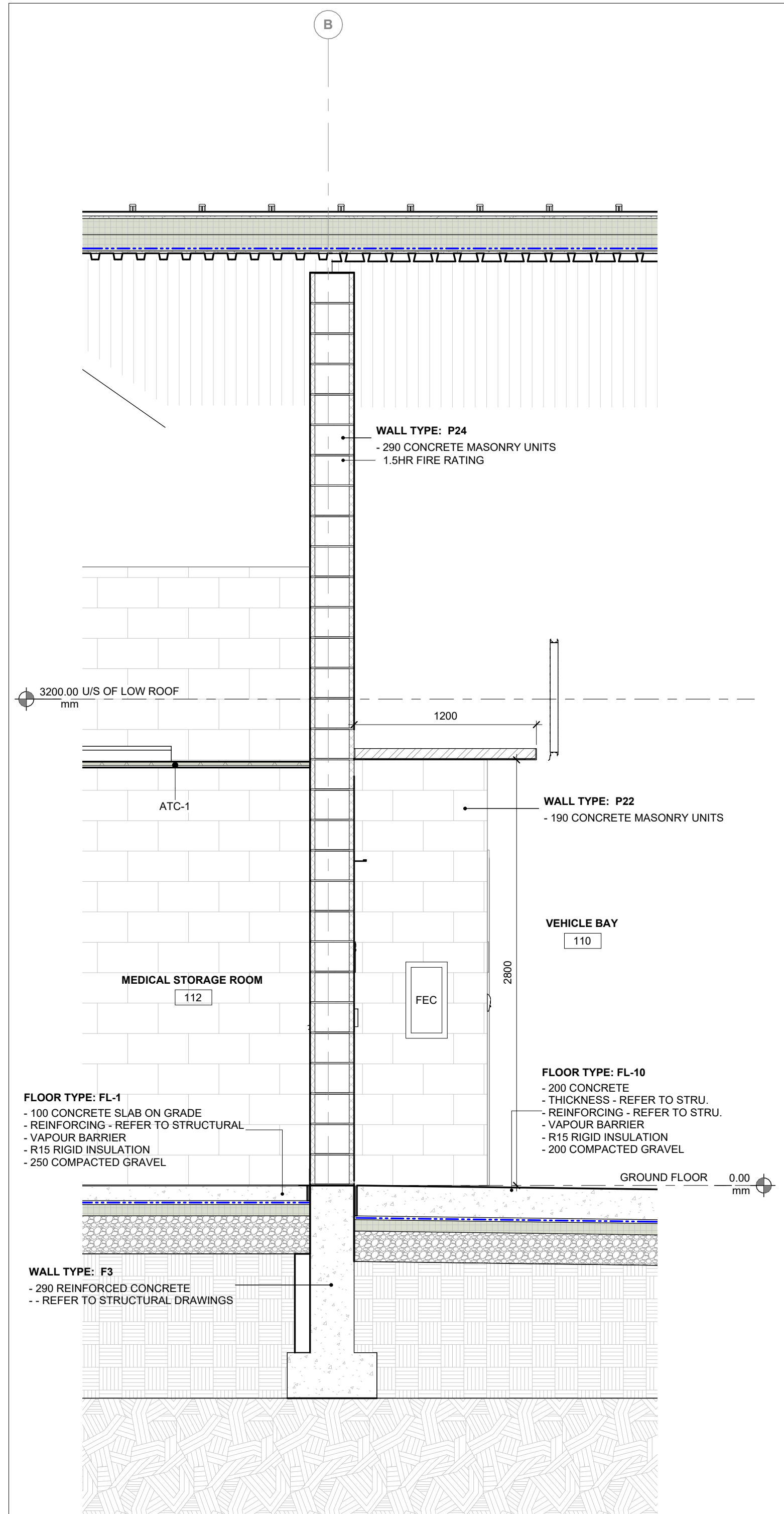


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2020-11-18

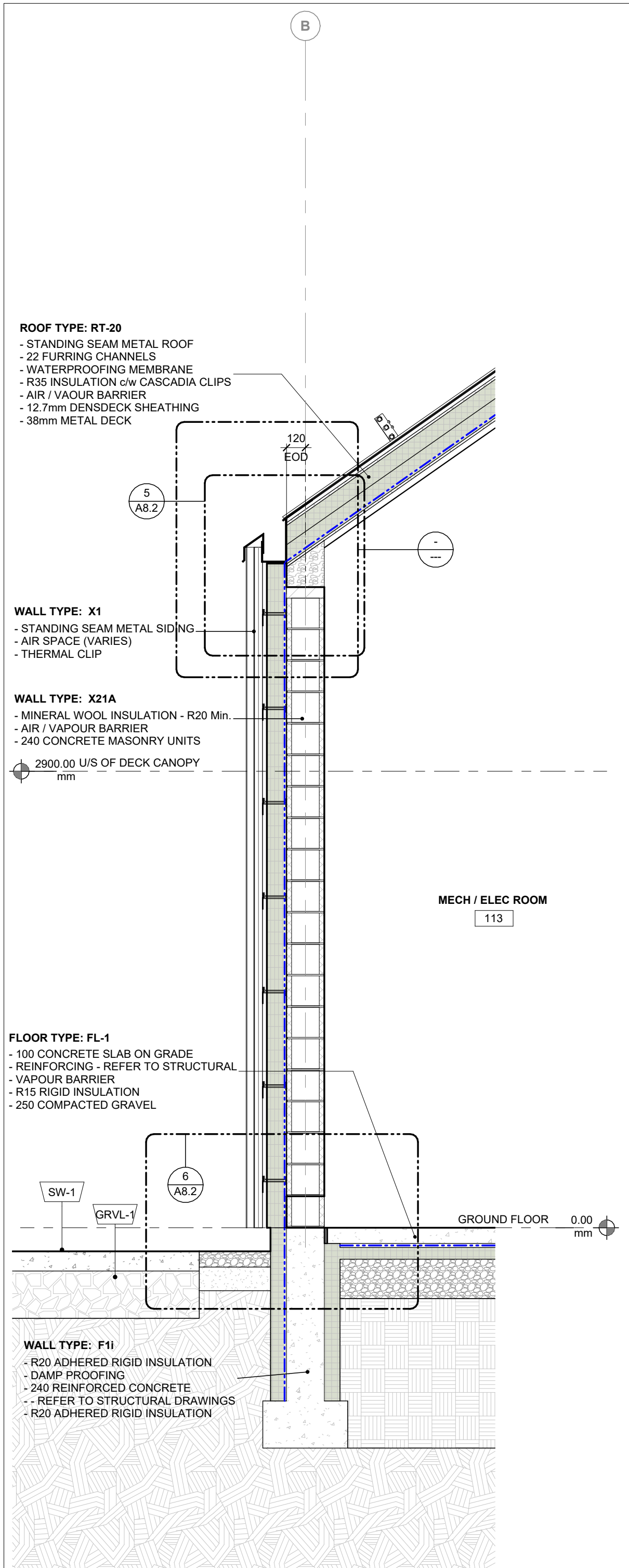
PROJECT NO.
1622

DRAWING NO.
A8.2

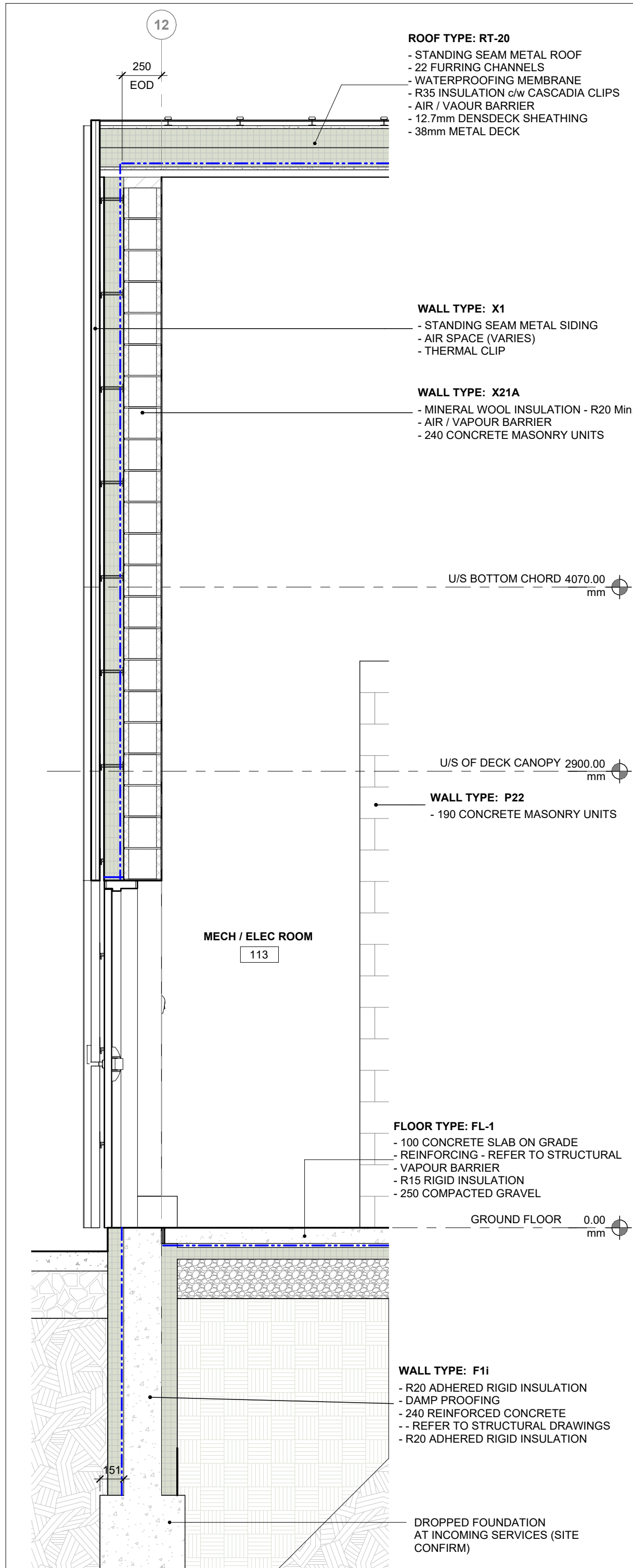
REVISION
25



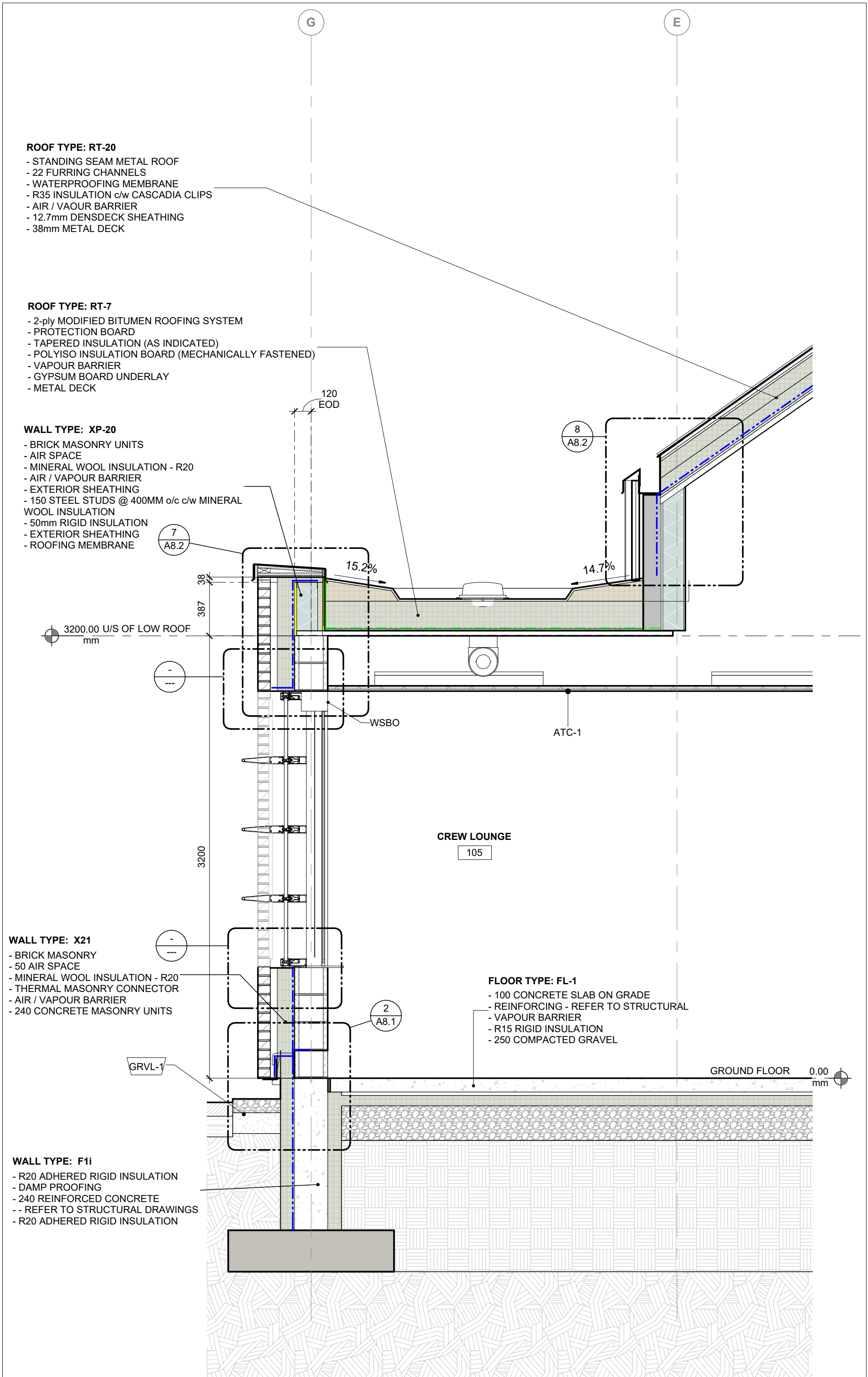
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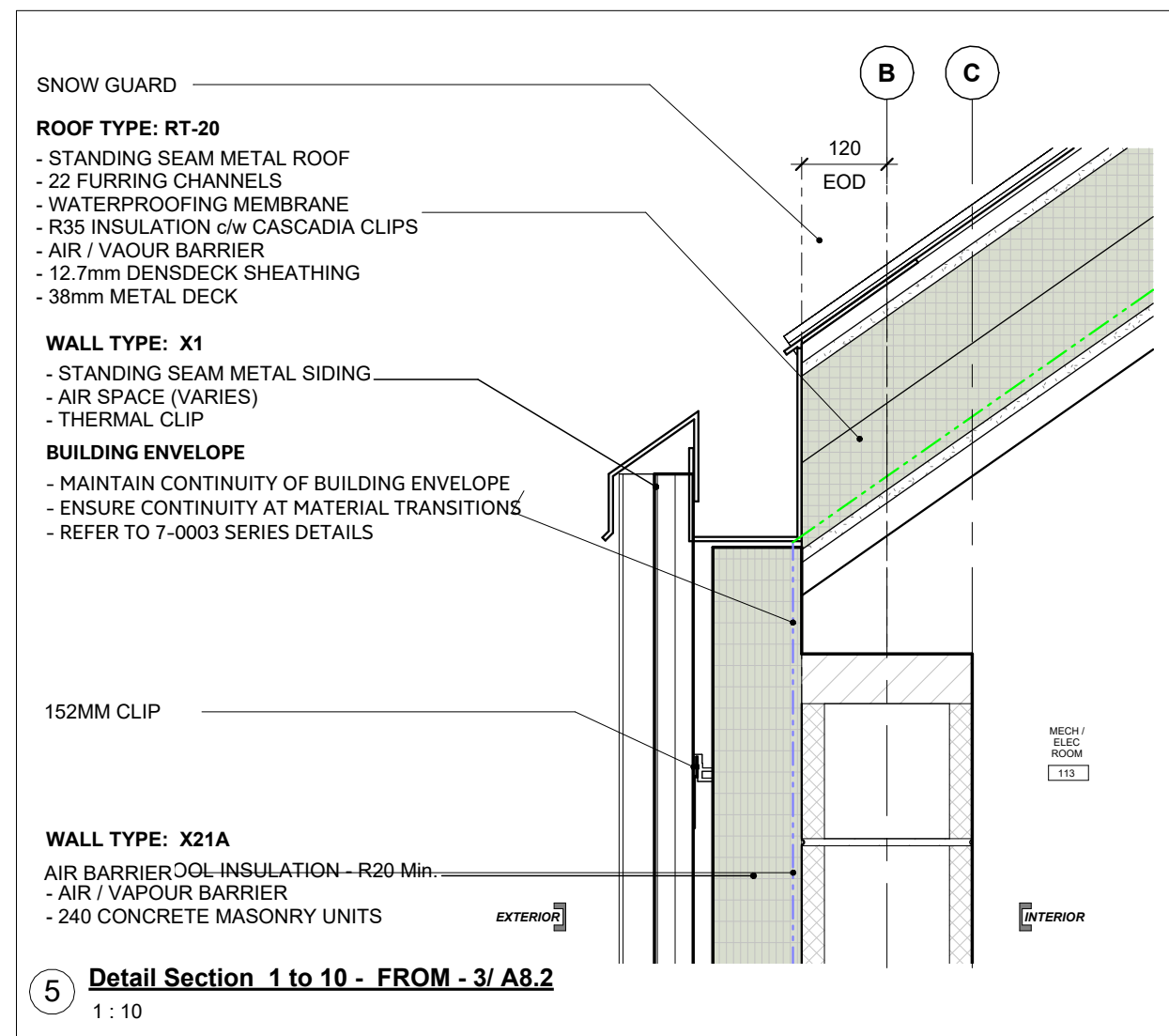
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1:25



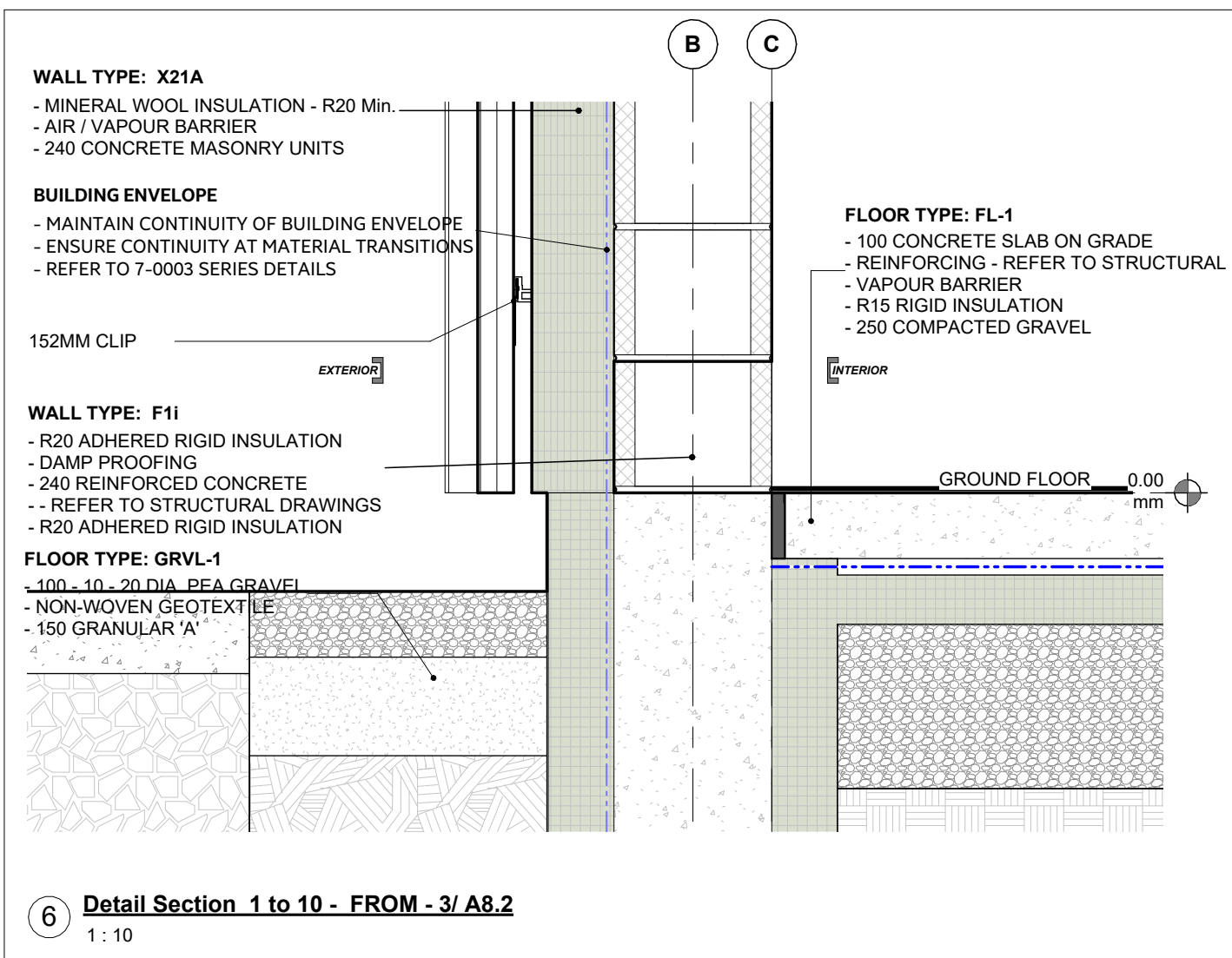
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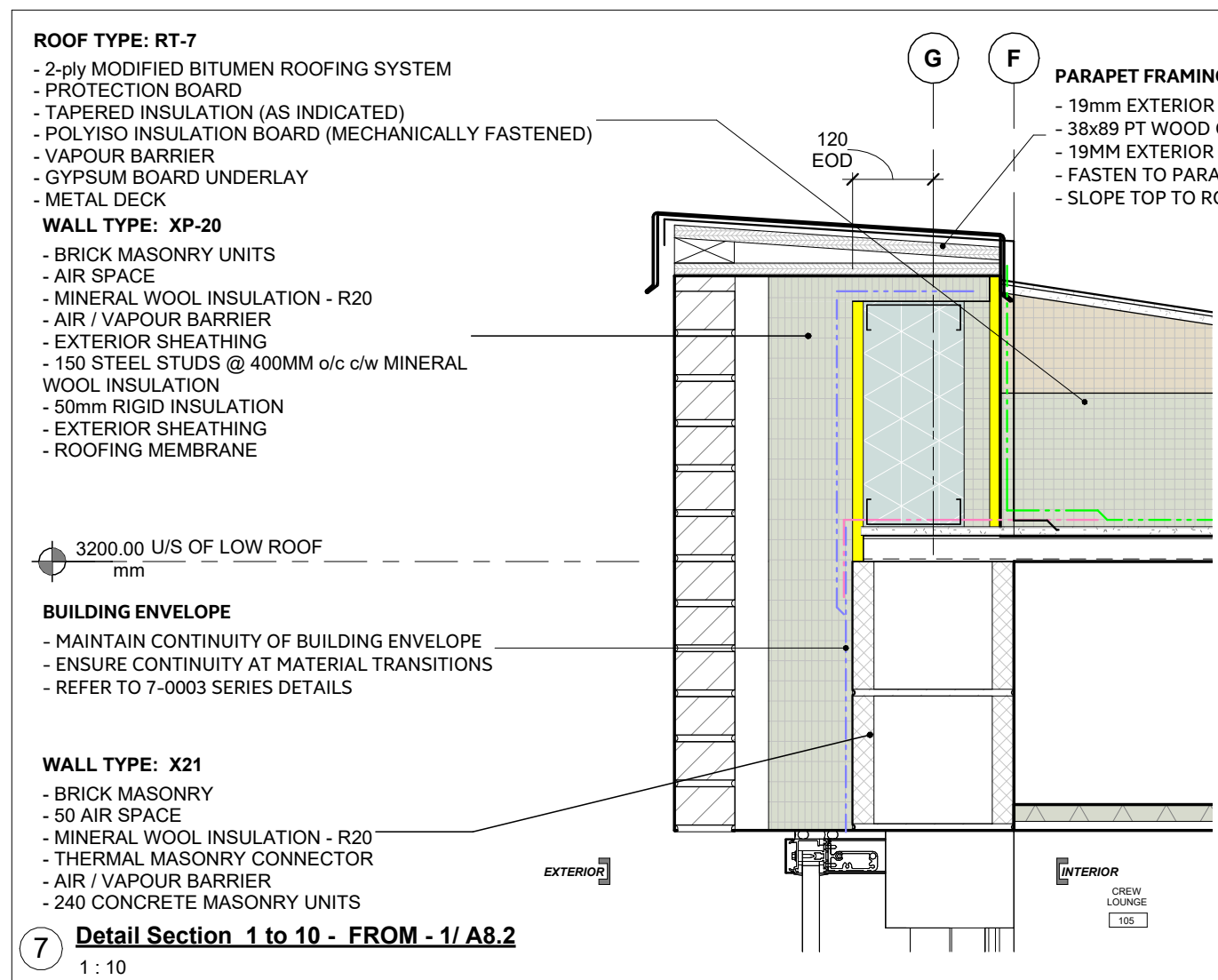
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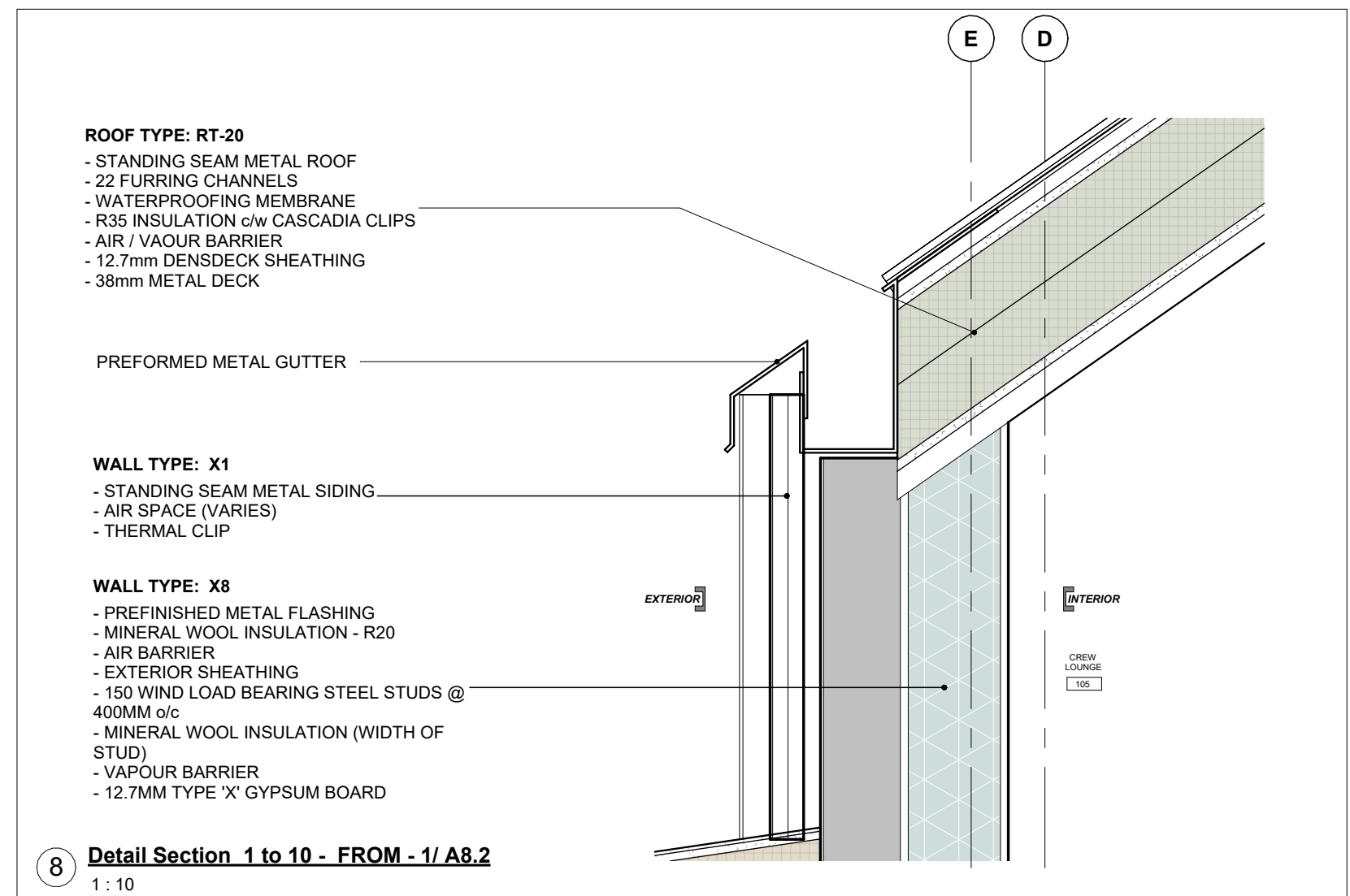
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6 Detail Section 1 to 10 - FROM - 3/ A8.2
1:10



7 Detail Section 1 to 10 - FROM - 1/ A8.2
1:10



8 Detail Section 1 to 10 - FROM - 1/ A8.2
1:10

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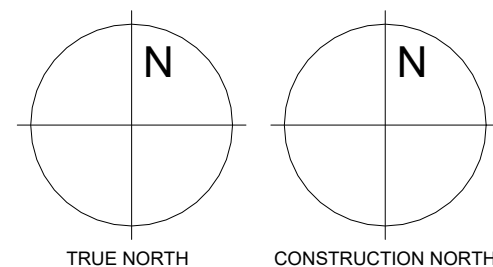
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PROFESSIONAL SEAL

DWG TITLE

FLOOR PLAN FINISH DETAILS

ORIENTATION



DATE 2020-11-18

PROJECT No. _____

1622

DRAWING No. _____

A9.2

REVISION

25

2026-06-03 12:32:38 PM

8 / A9.2

10-0007 - WT-B 1 WHITEBOARD / TACKBOARD DETAILS

The drawing consists of two main views: an **ELEVATION** view at the top and a **TYPICAL SECTION** view at the bottom.

ELEVATION View: Shows a rectangular whiteboard/tackboard assembly. The overall width is 2438 and the overall height is 1219. The assembly includes a "WHITEBOARD/TACKBOARD SURFACE" and "WOOD BLOCKING BEHIND WALL SURFACE". A "LINE OF PERIMETER TRIM (FOR BOARDS 1219 IN WIDTH ONLY)" is indicated. A "STEEL SPLINE (WHERE REQUIRED ONLY)" is shown along the bottom edge. The distance from the bottom of the board to the "LINE OF FINISHED FLOOR" is 93 MM. A note states "UNLESS OTHERWISE NOTED".

TYPICAL SECTION View: Shows a cross-section of the assembly. It includes "38x140 WOOD BLOCKING AS REQUIRED", "EXTRUDED ALUMINUM PERIMETER TRIM", and "WHITEBOARD/TACKBOARD SURFACE". A "CONTINUOUS STEEL SPLINE (FRICTION FIT) WHERE REQ'D (HORIZONTAL OR VERTICAL)" is shown. A note states "ALL SPLINES MUST BE NOTED ON SHOP DRAWINGS". The "38x140 WOOD BLOCKING AS REQUIRED" is shown again. The "MILLWORK SURFACE (WHERE INDICATED)" is shown. A note states "WHERE ASSEMBLY SITS ABOVE MILLWORK SURFACE MAINTAIN 3mm GAP BETWEEN TOP OF SURFACE AND FRAME WALL FACE".

Dimensions: 1219, 2438, 1219, 93 MM, 2150.

Labels: REF. TYPICAL SECTION THIS SHEET, EXTRUDED ALUMINUM PERIMETER TRIM, WHITEBOARD/TACKBOARD SURFACE, WOOD BLOCKING BEHIND WALL SURFACE, LINE OF PERIMETER TRIM (FOR BOARDS 1219 IN WIDTH ONLY), STEEL SPLINE (WHERE REQUIRED ONLY), LINE OF FINISHED FLOOR, 38x140 WOOD BLOCKING AS REQUIRED, EXTRUDED ALUMINUM PERIMETER TRIM, WHITEBOARD/TACKBOARD SURFACE, CONTINUOUS STEEL SPLINE (FRICTION FIT) WHERE REQ'D (HORIZONTAL OR VERTICAL), ALL SPLINES MUST BE NOTED ON SHOP DRAWINGS, 38x140 WOOD BLOCKING AS REQUIRED, MILLWORK SURFACE (WHERE INDICATED), WHERE ASSEMBLY SITS ABOVE MILLWORK SURFACE MAINTAIN 3mm GAP BETWEEN TOP OF SURFACE AND FRAME WALL FACE.

TYPICAL SECTION

* SHOP DRAWING REQUIRED PRIOR TO FABRICATION

3 / A9.2

9-0001 - DSFFD-1 - DANGER SIGN @ FOUR FOLD SIGN

DOOR OPENING WIDTH

75 75 75 75

EQ EQ EQ EQ

1085 945 547 200 1545

BORDER - 75MM WIDTH
EPOXY PAINT
(YELLOW COLOUR)

TEXT - 200MM HIGH
EPOXY PAINT
(ARIAL FONT, YELLOW COLOUR)

4 / A9.2

2-0001 - CBFP-1 - CARDBOARD TEMPORARY FLOOR PROTECTION

WIDTH OF AREA TO BE PROTECTED

LENGTH OF AREA TO BE PROTECTED

CARDBOARD TEMPORARY FLOOR PROTECTION - 46mil MIN. THICKNESS TAPED SEAMS TO ENSURE THAT ENTIRE IS AREA IS PROTECTED

ADJACENT VERTICAL SURFACE (IF APPLICABLE)

ENSURE FLOOR PROTECTION EXTENDS COMPLETELY OVER SURFACE TO BE PROTECTED (TYP.)

FOLD UP AS REQUIRED TO PROTECT ADJACENT VERTICAL SURFACES

CARDBOARD TEMPORARY FLOOR PROTECTION

SURFACE TO BE PROTECTED

TAPE ALL EDGES (TYP.)

CARDBOARD TEMPORARY FLOOR PROTECTION - 46mil MIN. THICKNESS

USE MULTIPLE ROLLS AS REQUIRED TO COVER ENTIRE SURFACE

1. SWEEP OR VACUUM ALL DIRT AND DEBRIS OFF SURFACE TO BE COVERED.
2. ROLL OUT BOARD
3. CUT TO DESIRED LENGTH WITH UTILITY KNIFE.
4. TAPE THE SEAMS.
5. WHEN TAPING DIRECTLY TO THE FLOOR, CONSULT THE FLOORING MANUFACTURER FOR RECOMMENDED TAPE.

• PROVIDE CARDBOARD TEMPORARY FLOOR PROTECTION ON ALL FINISHED CONCRETE FLOOR SURFACES UNTIL PROJECT COMPLETION

• PROVIDE CARDBOARD TEMPORARY FLOOR PROTECTION ON ALL FINISHED FLOOR SURFACES THAT MAY BE IMPACTED BY REMAINING WORK TO BE COMPLETED.

5 / A9.2 9-0012 - BFSS-1 - SHOWER STALL - BARRIER FREE - FRAMED WALLS

1985 - ROUGH OPENING

SOLID SURFACE HEAD

SOLID SURFACE SILL, HEADER AND JAMB WIDTHS TO SUIT FACE OF ADJACENT WALLS FINISHES (TYP)
NOTE: JAMBES TO BE CONTINUOUS - NO JOINTS

SOLID SURFACE JAMBS

SOLID SURFACE THRESHOLD

115mm HIGH POURED CONCRETE SHOWER PERIMETER CURB TO BE INSTALLED WHERE FRAMED WALLS (I.E STUD WALLS) ARE NOTED ON PLANS
REFER TO DETAIL

134

SHOWER OPENING REFER TO FLOOR PLAN

SOLID SURFACE JAMB

SOLID SURFACE THRESHOLD WITH BEVELED EDGES

FLOOR TILES

WALL TILES

EXTEND WATERPROOF MEMBRANE UP AND UNDER THRESHOLD

WATERPROOF MEMBRANE UNDER FLOOR TILES

FLOOR TILE ON MORTAR BED SLOPED TO DRAIN

FORM INSIDE PERIMETER OF SHOWER AND POUR MORTAR BED SEPARATELY

RECESS FLOOR SLAB 50mm

CONCRETE SLAB ON GRADE

DETAIL A - SHOWER CURB

WALL THICKNESS 115

115

80

75

200

50

WALL TILES

FULLY ADHERE WATERPROOF MEMBRANE MIN. 200 mm UP FACE OF WALL

CONCRETE CURB DOWELED INTO SLAB ON GRADE

WATERPROOF MEMBRANE UNDER FLOOR TILES

FLOOR TILE ON MORTAR BED SLOPED TO DRAIN

FORM INSIDE PERIMETER OF SHOWER AND POUR CONCRETE CURB AND MORTAR BED SEPARATELY

RECESS FLOOR SLAB 50mm

DOWELS - 10M REBAR @300MM o.c. (MIN. 75MM EMBEDMENT)

CONCRETE SLAB ON GRADE

DETAIL B - PERIMETER SHOWER CURB (SIDES AND BACK)

6 / A9.2

CAULK TOP OF BASE TO WALL (TYP.)

ALUMINUM TILE EDGE TRIM
(WHERE TILE STOPS BELOW CEILINGS)

BOND COAT

WATER PROOF MEMBRANE
(IF REQ'D)

SLIGHT LEVELLING COAT
(AS REQ'D)

SUBSTRATE (WALL)

GROUT JOINT

WALL TILE

BASE TILE

FLOOR TILE

BOND COAT

WATERPROOF/UNCOUPLING
MEMBRANE (IF REQ'D)

SUBSTRATE (FLOOR)

GROUT JOINT

ADJUST LEVELLING
COAT TO MATCH
FACE OF BASE TILE IS
THICKER THAN WALL
TILE

* REF. TTMAC - 303W-2012-2014 INT/EXT

TYPICAL DETAIL CAULK

* REF. TTMAC - 311F-2012-2014 INT/EXT DETAIL A

** ALL WORK TO BE COMPLETED IN ACCORDANCE WITH TTMAC STANDARDS AS SPECIFIED

1:30

1

INTERIOR ELEVATION

24MM
TOP OF SUBSTRATE

FACE OF FRAME
CAULK JOINT

FACE OF WALL TO
FINISHED FACE OF FRAME
(SITE CONFIRM)

25
SILL

15

SILL OVERHANG
CAULK JOINT

ADHERE SILL TO SUBSTRATE
USING SILICONE BEADS

FACE OF FINISHED WALL

FACE OF FINISHED FLOOR

SEE NOTE 3

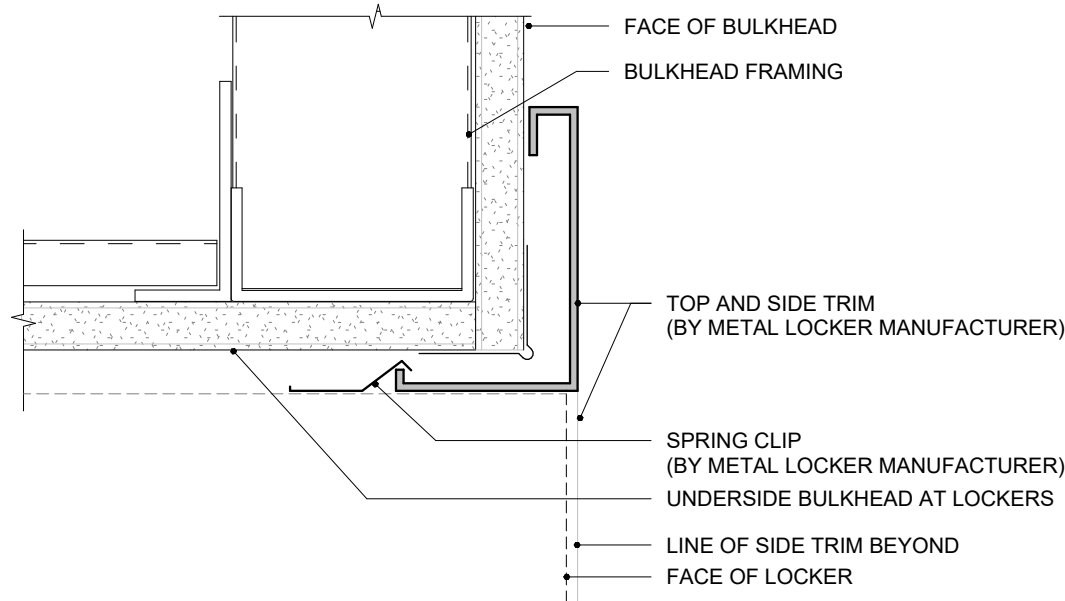
NOTE:

1. SAMPLE SUBMITTAL REQUIRED PRIOR TO FABRICATION
2. ENSURE SILL PLACED ON LEVEL, SOUND SUBSTRATE SUITABLE FOR THIS APPLICATION
3. ENSURE THAT SILL OVERHANG DOES NOT CONFLICT WITH MECHANICAL OR ELECTRICAL ELEMENTS (i.e. BASEBOARD HEATERS, ETC.). REPORT ANY CONFLICTS TO CONSULTANT PRIOR TO INSTALLATION
4. ENSURE REQUIRED CLEARANCE FOR SILL OVERHANG. REPORT ANY CONFLICTS TO

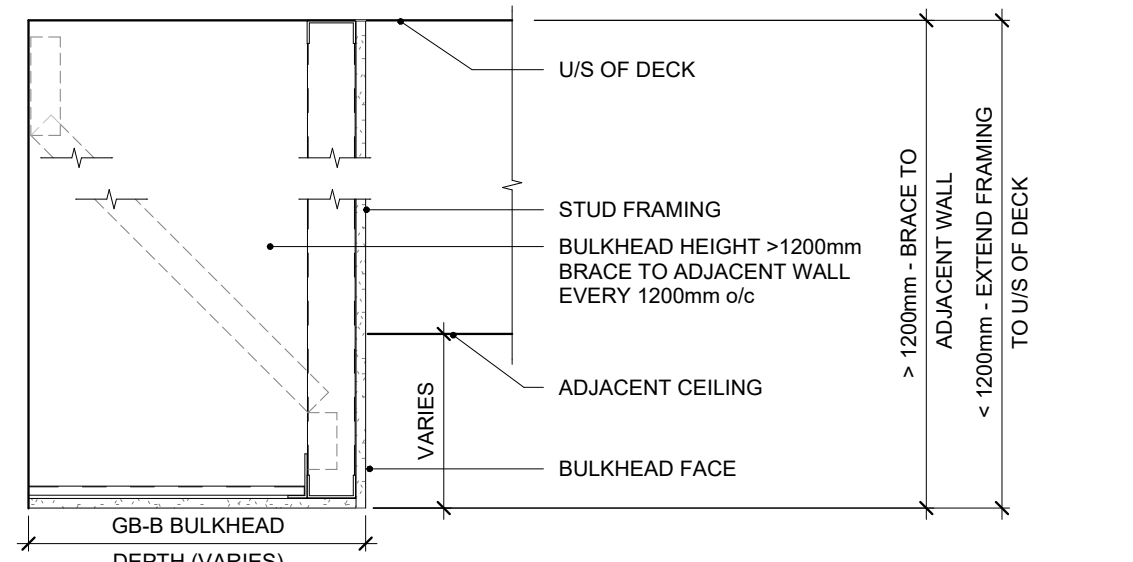
↑
GC
COORD.
SUBTRADES

9-0006 - TD-1 - TYPICAL TILE DETAILS - SHINSET (WALL + FLOOR)

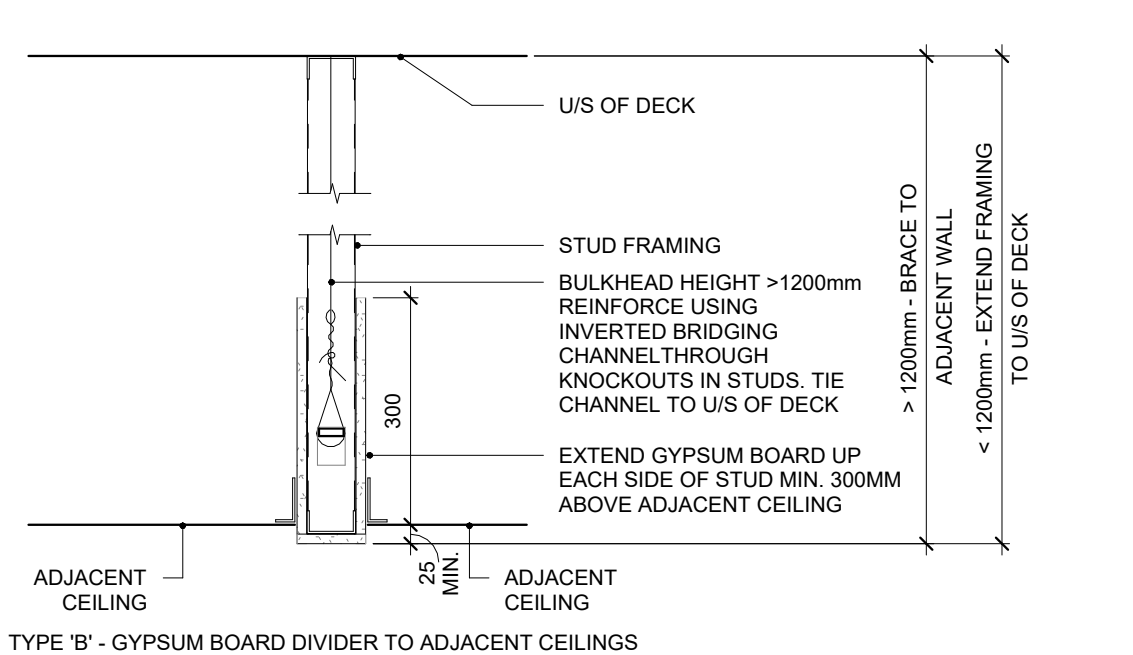
4 / A10.1 10-0012.1 - LKTR-1 LOCKER TRIM (METAL FASCIA)



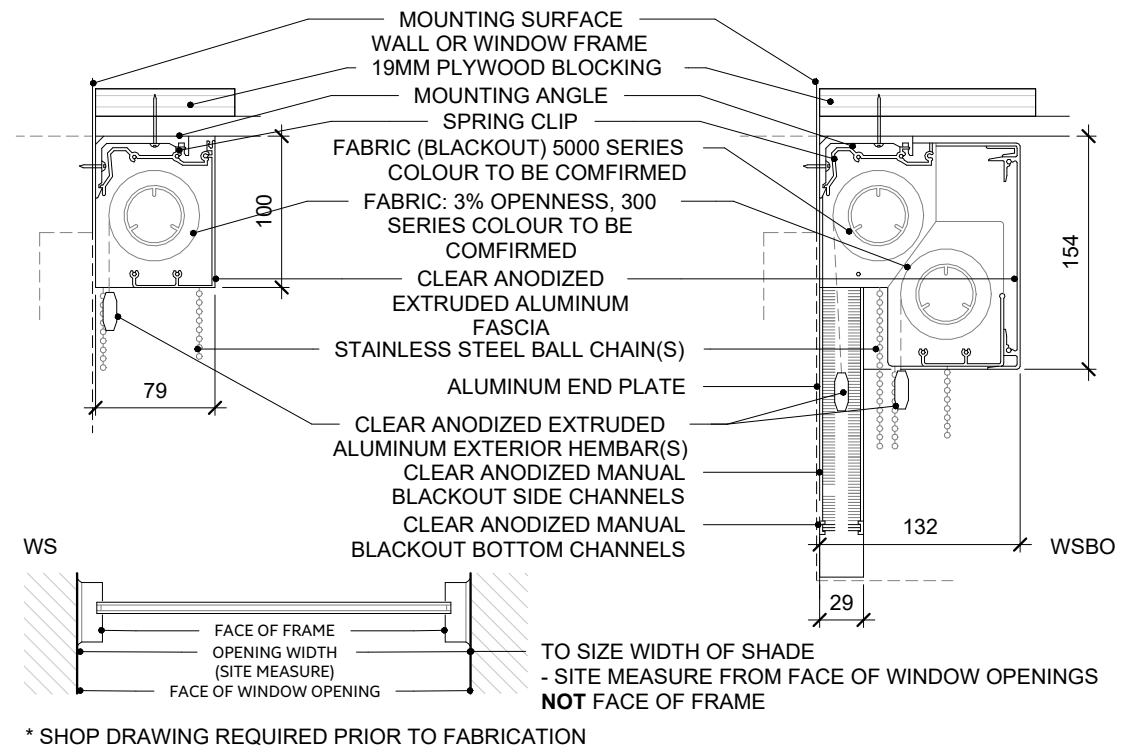
5 / A10.1 9-0021 - CTRANS-1 - TYPE 'A' - GYPSUM BOARD BULKHEAD (GB-B) TO ADJACENT CEILINGS



6 / A10.1 9-0022 - CTRANS-2 - TYPE 'B' - GYPSUM BOARD DIVIDER TO ADJACENT CEILINGS



7 / A10.1 12-0001 - WS-1 WINDOW SHADES

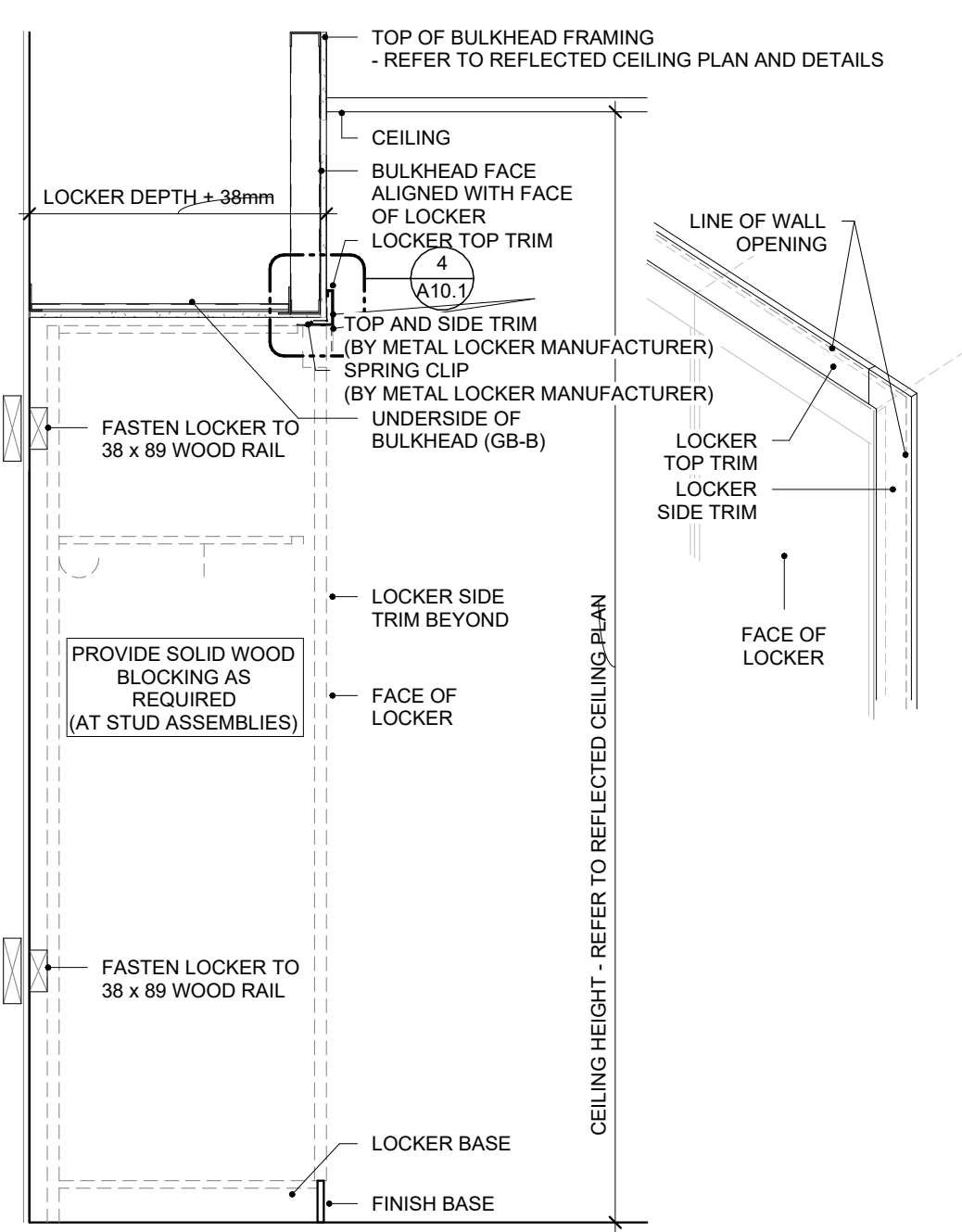


2 / A10.1 A700 GENERAL NOTES - REFLECTED CEILING PLAN

- REFLECTED CEILING PLANS MAY NOT SHOW ALL MECHANICAL AND ELECTRICAL FIXTURES OR EQUIPMENT. ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS
- PRIOR TO COMMENCING WORK, CONDUCT INTERFERENCE STUDY. THE OBJECTIVE OF THE STUDY IS TO IDENTIFY AND MITIGATE ISSUES WITH THE INSTALLATION OF MECHANICAL AND ELECTRICAL SYSTEMS, FIXTURES AND EQUIPMENT. AS PART OF THE STUDY, INCLUDE THE FOLLOWING:
 - MARK LOCATIONS AND ROUTES ON SITE OF ALL EQUIPMENT, PIPING, VENTS, DUCTS, CONDENSATES ETC. CONTRACTOR TO ESTABLISH MINIMUM CLEARANCES AND REPORT ANY INTERFERENCES WITH LIGHT FIXTURES, CONDUIT OR WIRE RUNS, STRUCTURE ETC.
 - MARK LOCATIONS ON SITE OF ALL LIGHTING. CONTRACTOR TO ESTABLISH MINIMUM CLEARANCES AND REPORT ANY INTERFERENCES WITH DUCTS, PIPES, STRUCTURE ETC.
 - LOCATE ALL FIXTURES IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
 - IDENTIFY ALL SERVICES INSTALLED WITHIN OR ABOVE CEILING SYSTEMS. COORDINATE ALL PENETRATIONS AND ACCESS PANELS WITH THE CEILING SUPPORT SYSTEMS.
 - REPORT ANY DISCREPANCIES OR INTERFERENCES TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
 - PROVIDE CONFIRMATION THAT INTERFERENCE STUDY HAS BEEN CONDUCTED AND THAT INTERFERENCES HAVE BEEN IDENTIFIED AND MITIGATED.
- REFER TO ROOM FINISH SCHEDULE FOR CEILING FINISHES.
- WHERE INDICATED, DIMENSIONS ARE TAKEN FROM CENTER OF LIGHT FIXTURES
- WHERE INDICATED, CEILINGS NOTED AS EXPOSED SHALL BE PAINTED
- FIRE SEPARATIONS ARE TO THE UNDERSIDE (U/S) OF THE DECK OR STRUCTURE COMPLETE WITH FIRESTOP SYSTEM MATERIAL AND SMOKE SEAL AS REQUIRED.
- REFER TO TOP OF WALL DETAILS FOR TERMINATION OF WALLS AT FLOORS AND ROOFS
- WHERE MECHANICAL AND ELECTRICAL FIXTURES PENETRATE A PARTITION, PATCH AND PROVIDE AN AIR-TIGHT SEAL AROUND PENETRATION. AT FIRE SEPARATIONS USE FIRESTOP SYSTEM MATERIAL AT PENETRATIONS TO MATCH THE FIRE RATING OF THE PARTITION, WALL, OR FLOOR ASSEMBLY.
- LOCATE SPRINKLERS, DETECTORS, SPEAKERS, ETC. ON CENTRE LINE OR MID-POINT OF LAY-IN CEILING PANELS UNLESS OTHERWISE NOTED.
- FOR EQUIPMENT THAT REQUIRES ACCESS THROUGH CEILINGS, LOCATE ABOVE ATC CEILINGS WHERE POSSIBLE. WHERE ACCESS IS REQUIRED THROUGH GYPSUM BOARD CEILINGS, CONTRACTOR TO PROVIDE ACCESS PANELS AS REQUIRED. CONSULTANT TO REVIEW LOCATIONS PRIOR TO PROCEEDING WITH INSTALLATION.
- ACCESS PANELS SHALL BE PREFABRICATED AND SIZED ACCORDING TO ACCESS REQUIREMENTS, FINISH FLUSH WITH ADJACENT CEILING AND TO MATCH ADJACENT CEILING FINISH.
- UNLESS OTHERWISE NOTED, LOCATE LIGHT FIXTURES ON CENTRE OF ACOUSTIC CEILING TILES
- REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR FIRE EXIT SIGNS, EMERGENCY LIGHTING AND OTHER LIFE SAFETY DEVICES (IE HEAT DETECTORS, SMOKE DETECTORS ETC)
- WHERE REQUIRED, PATCH, PAINT OR REPLACE ANY DAMAGED T-BAR AND REPLACE ANY DAMAGED OR SOILED CEILING TILES NOTED PRIOR TO OCCUPANCY

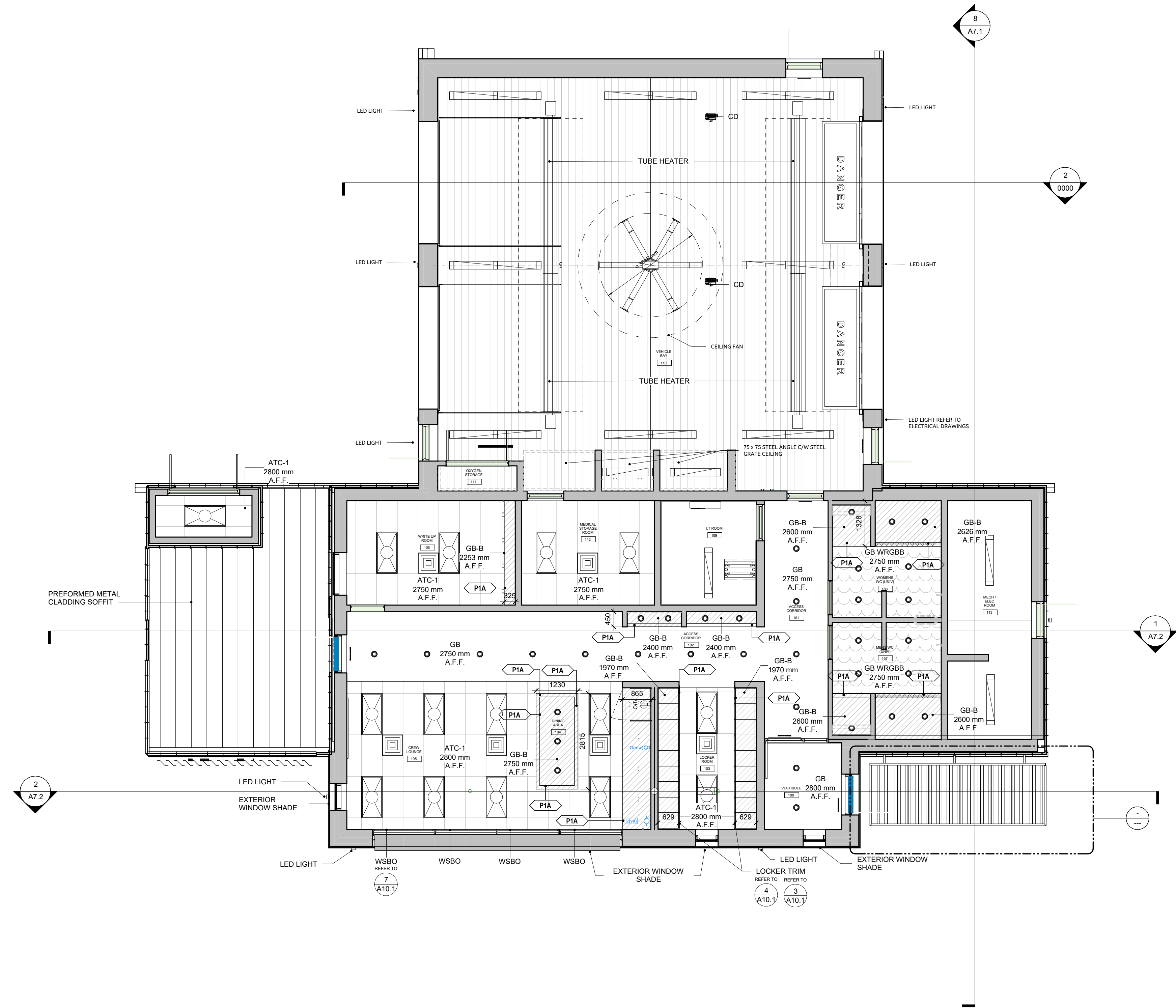
	GB	GYPSUM BOARD
	GB-B	GYPSUM BOARD - BULKHEAD
	GB-WRGBB	WATER RESISTANT GYPSUM BACKING BOARD
	ATC	ACOUSTICAL TILE CEILING SYSTEM
	EXP	EXPOSED CEILING

3 / A10.1 10-0012 - LCKR - DETAIL



1 GROUND FLOOR REFLECTED CEILING PLAN

1:75



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ISSUE OR REVISION		
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8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

YORK REGION PRS #33 RFTC
397-21
2960 TESTON ROAD, VAUGHAN

PROJECT:

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

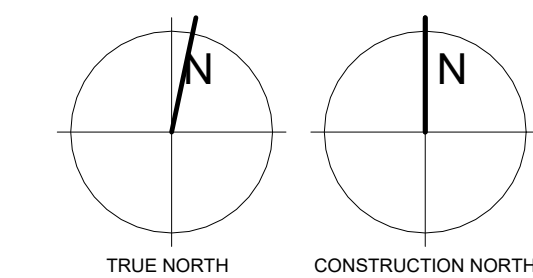
ARCHITECT
THOMASBROWNARCHITECTS
107 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

REFLECTED CEILING
PLAN

ORIENTATION



DATE
2020-11-18

PROJECT No.
1622

DRAWING No.
A10.1

REVISION
25

2026-06-03 12:32:39 PM

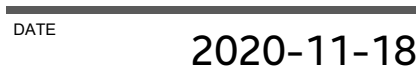
2960 TESTON ROAD, VAUGHAN

CLIEN

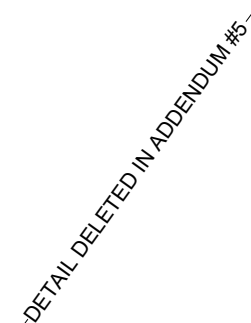
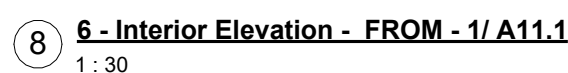
ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

ORIENTATION

PROJECT No. **1622**DRAWING No. **A11.1**

REVISION
25



14 /A12.1

MILLWORK PANEL SCHEDULE				NOTATION ON DRAWINGS	
MP00	- MELAMINE PANEL - WHITE	ME - 3MM MELAMINE TO MATCH	CF: (MATERIAL)		
MP1	- BIRCH PLYWOOD	ME - 6MM SOLID WOOD TO MATCH	CB: (MATERIAL)		
MP10	- SESAME - UNIBOARD	ME - BY MANUFACTURER	TK or VA: (MATERIAL)		
MP11	- RIVA - UNIBOARD	ME - BY MANUFACTURER	CP: (HANDLE)		
MP12	- STAINLESS - UNIBOARD	ME - BY MANUFACTURER			
MP13	- SKYE - UNIBOARD	ME - BY MANUFACTURER			
MP14	- COCOA BEAN - UNIBOARD	ME - BY MANUFACTURER			
MP15	- INTRIGUE - UNIBOARD	ME - BY MANUFACTURER			
MP16	- INFINTO - CLEAF	ME - BY MANUFACTURER			
MP17	- SENZA TEMPO - CLEAF	ME - BY MANUFACTURER			
MP18	- EPOCA - CLEAF	ME - BY MANUFACTURER			

- MILLWORK PANEL NOTES**
- PANELS THAT HAVE A VISIBLE GRAIN (I.E. WOODS) SHALL BE ORIENTED VERTICALLY UNLESS OTHERWISE NOTED
 - WHERE MULTIPLE PANELS ARE STACKED VERTICALLY CUT STOCK SO AS TO MAINTAIN CONTINUITY OF GRAIN FROM PANEL TO PANEL (SEE DIAGRAM TO LEFT)

DOOR AND DRAWER HANDLE SCHEDULE

- 128 - CONTEMPORARY STEEL PULL - 305 - 128MM CENTER TO CENTER
160 - CONTEMPORARY STEEL PULL - 305 - 160MM CENTER TO CENTER
192 - CONTEMPORARY STEEL PULL - 305 - 192MM CENTER TO CENTER
298 - CONTEMPORARY STEEL PULL - 305 - 298MM CENTER TO CENTER
333 - CONTEMPORARY STEEL PULL - 305 - 333MM CENTER TO CENTER
486 - CONTEMPORARY STEEL PULL - 305 - 486MM CENTER TO CENTER
562 - CONTEMPORARY STEEL PULL - 305 - 562MM CENTER TO CENTER
638 - CONTEMPORARY STEEL PULL - 305 - 638MM CENTER TO CENTER

FINISHES

- CH - CHROME
BN - BRUSHED NICKEL

NOTE: ALL HARDWARE SHALL BE RICHELIEU OR EQUIVALENT

- SUPPLY AND INSTALL HARDWARE AS FOLLOWS:
1. ALL HARDWARE SHALL BE IN ACCORDANCE WITH **CUSTOM GRADE** AS DEFINED BY AWMAC.
2. CONCEALED SELF-CLOSING HINGES.
3. STAINLESS STEEL ROD TYPE DOOR & DRAWER HANDLES AS SCHEDULED.
4. ALL DRAWERS ON HEAVY DUTY TELESCOPING CUSHIONED ROLLING METAL SLIDES.
5. RECESSED METAL STANDARDS - ADJUSTABLE C/W REQUIRED NUMBER OF SHELF CLIPS.
6. PROVIDE KEY LOCKS WHERE INDICATED. EACH LOCK SHALL BE UNIQUE.
7. BOBRICK B-6827 S.S. HAT & COAT HOOKS FOR ALL HOOKS INDICATED.

*NOTE: ALL MILLWORK HARDWARE SUPPLIED & INSTALLED UNDER MILLWORK CONTRACT.

FOR DRAWERS DESIGNATED AS FILE DRAWERS:

CABINETS 450-600MM IN WIDTH - PROVIDE ONE (1) ADJUSTABLE HANGING FILE FRAME PER DRAWER
CABINETS 750-1000MM IN WIDTH - PROVIDE TWO (2) LATERAL HANGING FILEBARS PER DRAWER

*NOTE: FILE FRAMES AND FILEBARS SHALL BE SUPPLIED BY LONG LIFE LTD., 407 BIRCHMOUNT ROAD, SCARBOROUGH, ON OR EQUIVALENT

SCHEDULE - ARCHITECTURAL WOODWORK

MODEL	DIMENSIONS			MATERIALS						HARDWARE								POWER	VALENCE LIGHTING	COMMENTS	COUNT
	DEPTH	WIDTH	HEIGHT	FINISH	CABINET BODY	CABINET FRONTS	MATCHING EDGE BAND	VALENCE MATERIAL	COUNTERTOP MATERIAL	LOCKABLE	CABINET PULLS	HINGES	DRAWER SLIDE	SHELF SUPPORTS	MOUNT						
UJ2DRMRW	325.00 mm	900.00 mm	848.97 mm	LAM	MP11	MP11	MP11	MP11				128-CH	2 SETS	n/a	n/a	WDBLK	Yes		1		
BKBD - FR	12.70 mm	2749.2 mm	2598.4 mm																1		
ACCESS CORRIDOR																					
INWY	350.00 mm	1600.0 mm	1100.0 mm	LAM		MP11	MP11		SSUR-1			n/a	n/a	n/a	WDBLK	Yes			1		
DINING AREA																					
UJ1DR1SHLF	325.00 mm	450.00 mm	2235.0 mm	LAM	MP11	MP11	MP11	MP11				128-CH	1 SET	n/a	1 SET	WDBLK	Yes		1		
UJ2DR1SHLF	325.00 mm	800.00 mm	2235.0 mm	LAM	MP11	MP11	MP11	MP11				128-CH					Yes		1		
UJ2DR1SHLF	325.00 mm	1000.0 mm	2235.0 mm	LAM	MP11	MP11	MP11	MP11				128-CH					Yes		1		
2DR2DWR	610.00 mm	750.00 mm	875.00 mm	LAM	MP00	MP11	MP11					128-CH	2 SETS	2 SETS	1 SET	WDBLK			3		
2DR2DWR	610.00 mm	800.00 mm	875.00 mm	LAM	MP11	MP11	MP11					128-CH	2 SETS	2 SETS	1 SET	WDBLK			1		
2DR2DWR	610.00 mm	900.00 mm	875.00 mm	LAM	MP00	MP11	MP11					128-CH	2 SETS	2 SETS	1 SET	WDBLK			1		
2DRFR	610.00 mm	980.00 mm	2235.0 mm	LAM	MP00	MP11	MP11					128-CH							1		
3DWR	610.00 mm	450.00 mm	875.00 mm	LAM	MP00	MP11	MP11					128-CH	n/a	3 SETS	n/a	WDBLK			1		
DSPNCH	300.00 mm	630.00 mm	875.00 mm	LAM	MP11	MP11	MP11					N/A	n/a	n/a	n/a	n/a			2		
WDPNL	12.70 mm	1425.0 mm	775.00 mm				MP11	MP11											1		
WDPNL	12.70 mm	1427.5 mm	775.00 mm				MP11	MP11											1		
T ROOM																					
BKBD - FR	12.70 mm	1865.6 mm	2598.4 mm																1		
BKBD - FR	12.70 mm	2777.2 mm	2598.4 mm																1		
BKBD - FR	12.70 mm	3019.4 mm	2598.4 mm																1		
MENS WC (UNIV)																					
BFVAN-1	395.00 mm	1120.0 mm	820.00 mm						SSUR-1										1		
VEHICLE BAY																					
CA2DR	740.00 mm	725.00 mm	875.00 mm	LAM	MP00	MP11	MP11					128-CH	2 SETS	2 SETS	1 SET	WDBLK			2		
CA(U)2DR1SHLF	325.00 mm	725.00 mm	2235.0 mm	LAM	MP00	MP11	MP11	N/A				128-CH	2 SETS	n/a	1 SET	WDBLK	No		2		
CASS(S)	780.00 mm	1500.0 mm	915.00 mm	SS							TBA - Stainless Steel, Brushed								1		
WOMENS WC (UNIV)																					
BFVAN-1	395.00 mm	1120.0 mm	820.00 mm						SSUR-1										1		
WRITE UP ROOM																					
O(U)2DR1SHLF	325.00 mm	749.98 mm	2235.0 mm	LAM	MP00	MP11	MP11	MP11				128-CH	2 SETS	n/a	1 SET	WDBLK	Yes		4		
PED3DWR	725.00 mm	450.00 mm	710.00 mm	LAM	MP11	MP11	MP11					128-CH	n/a	3 SETS	n/a	WDBLK			1		

13 /A12.1

- ALL ARCHITECTURAL WOODWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC) MANUAL - CURRENT EDITION
- ALL ARCHITECTURAL WOODWORK SHALL BE **CUSTOM GRADE** AS DEFINED BY AWMAC.
- ALL CABINET STYLES SHALL BE **FLUSH OVERLAY** UNLESS SPECIFICALLY NOTED OTHERWISE.
- UNDERSIDE OF WALL CABINETS SHALL BE FINISHED **TYPE 'A' FLUSH** UNLESS OTHERWISE NOTED.
- SCRIBES AND FILLERS SHALL HAVE A MAXIMUM DIMENSION OF 75MM IN WIDTH.
- MATCHING EDGE BAND (ME) SHALL BE SOLID WOOD WITH MIN 6MM EDGE DEPTH OR WHEN MANUFACTURED PANELS ARE SPECIFIED, MATCHING EDGE BAND PROVIDED BY MANUFACTURER

CABINET CONSTRUCTION

- TOPS, EXPOSED ENDS, BOTTOMS - JOINED IN ACCORDANCE WITH CUSTOM GRADE METHODS
EXPOSED END CORNER DETAILS - JOINED IN ACCORDANCE WITH CUSTOM GRADE METHODS
FACE FRAME ATTACHMENT - JOINED IN ACCORDANCE WITH CUSTOM GRADE METHODS
CABINET BACKS (WALL HUNG) - JOINED IN ACCORDANCE WITH CUSTOM GRADE METHODS
CABINET BACKS (FLOOR STANDING) - JOINED IN ACCORDANCE WITH CUSTOM GRADE METHODS

DRAWER CONSTRUCTION

- FRONTS, SIDES BOTTOMS - JOINED IN ACCORDANCE WITH CUSTOM GRADE METHODS

ABBREVIATIONS:

- CF - CABINET FACES
CB - CABINET BODY
TK - TOE KICK (LOWER CABINETS ONLY)
VA - VALENCE (UPPER CABINETS ONLY)
CP - CABINET PULLS
- EP - EXPOSED PARTS
SEP - SEMI-EXPOSED PARTS
CS - CONCEALED SURFACES
CS - CONCEALED SURFACES

- ME(AS) - MATCHING EDGE BAND (ALL SIDES)
ME(ES) - MATCHING EDGE BAND (EXPOSED SIDES)

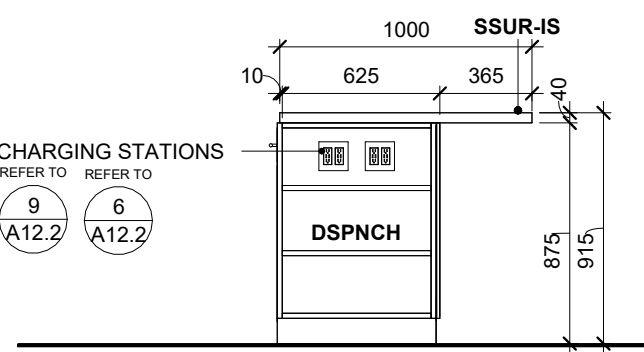
MILLWORK LEGEND
ON DETAIL DRAWINGS, THE FOLLOWING PARTS ARE INDICATED BY PATTERNS:

- EP - EXPOSED PARTS
SEP - SEMI-EXPOSED PARTS
CS - CONCEALED SURFACES

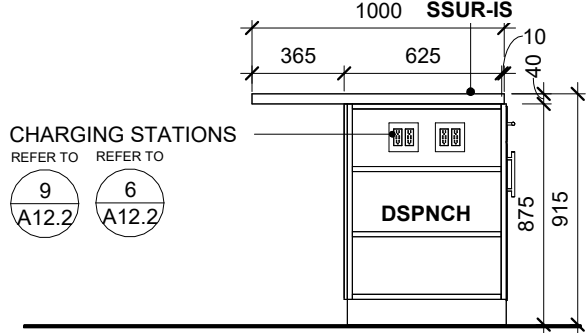
EXPOSED PARTS SHALL BE FINISHED ON BOTH SIDES OF PANELS WITH LIKE MATERIALS AND MATCHING EDGE BAND AS INDICATED
SEMI-EXPOSED PARTS SHALL BE FINISHED ON VISIBLE SIDES WITH MATCHING EDGE BAND AS INDICATED.
NOTE: ENDS AND TOEKICKS SHALL BE TREATED AS EXPOSED SURFACES WHEN VISIBLE AFTER INSTALLATION.
NOTE: WHERE PANEL EDGES ABUT EXPOSED PARTS, EDGE BAND SHALL MATCH EXPOSED PART MATERIAL
CONCEALED PARTS CAN BE LEFT IN MILL FINISH.

PANEL NOMINAL THICKNESSES (UNLESS NOTED OTHERWISE)

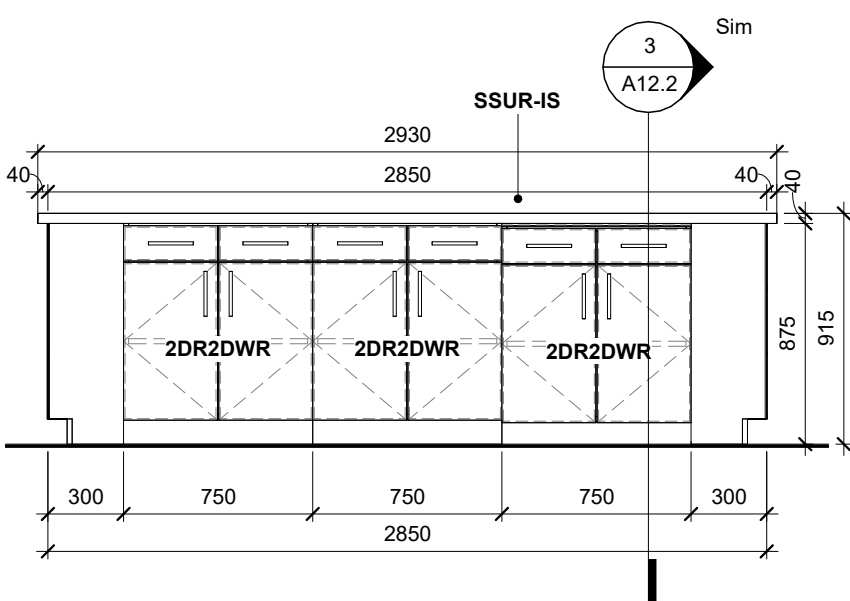
- PART**
- ENDS (GABLES), DIVISIONS, FIXED SHELVES, BOTTOMS, TOPS
FACE FRAMES, RAILS, TOEKICKS, CABINET BASES, VALENCES
SHELVES ADJUSTABLE (ADJ.)
BACKS
MOUNTING OR HANGER STRIPS
DRAWER SIDES, BACKS, SUBFRONTS
DRAWER BOTTOMS
DRAWER FRONTS
DOORS
- THICKNESS**
- 19MM
 - 19MM
 - 19MM
 - 6.4MM
 - 12.7MM
 - 12.7MM
 - 6.4MM
 - 19MM
 - AS NOTED



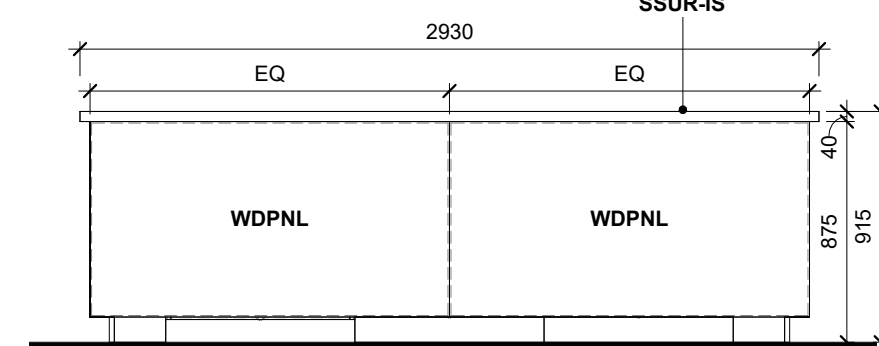
7 - Millwork Elevation - FROM - 1/ A12.1
1:30



8 - Millwork Elevation - FROM - 1/ A12.1
1:30

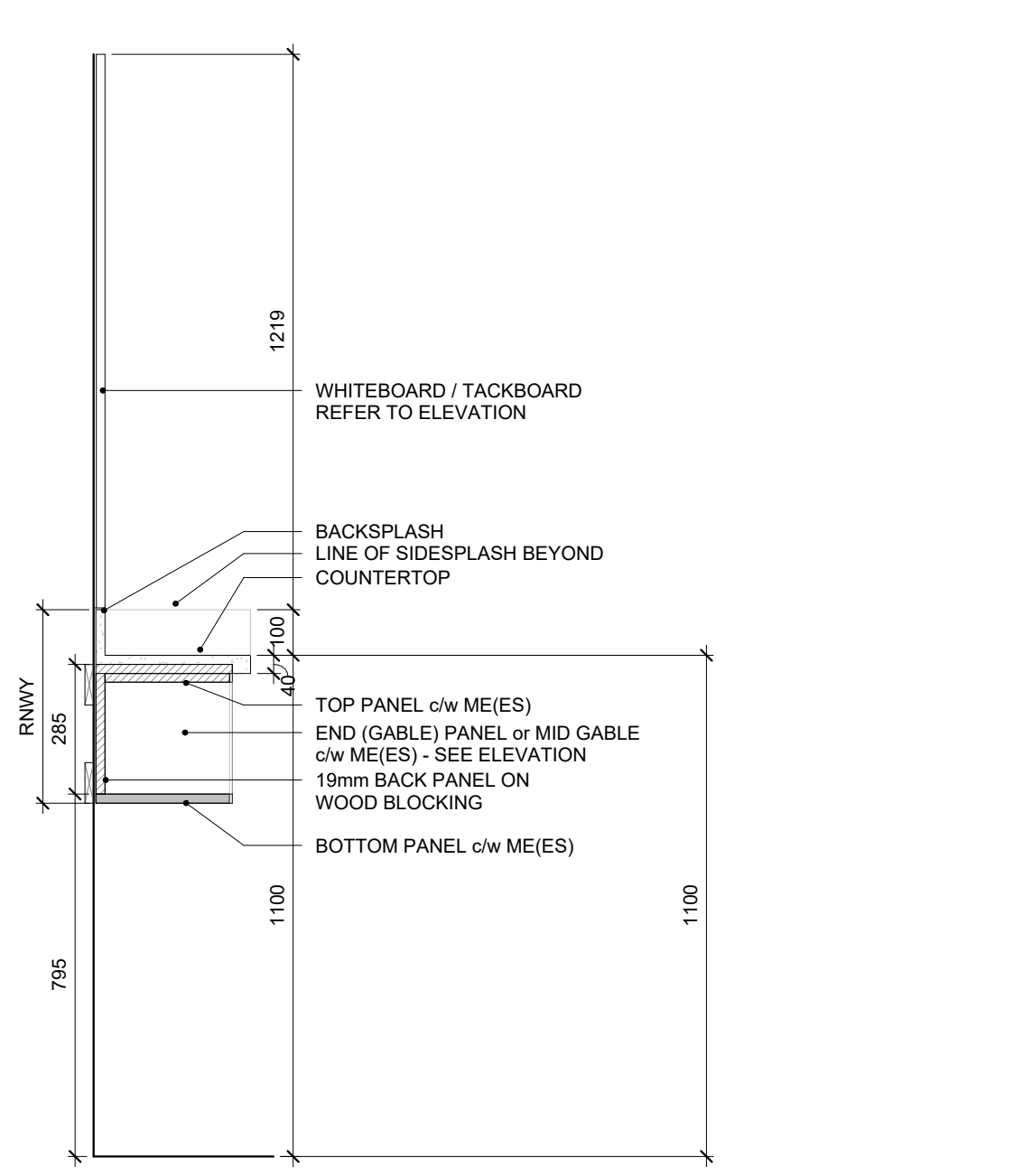


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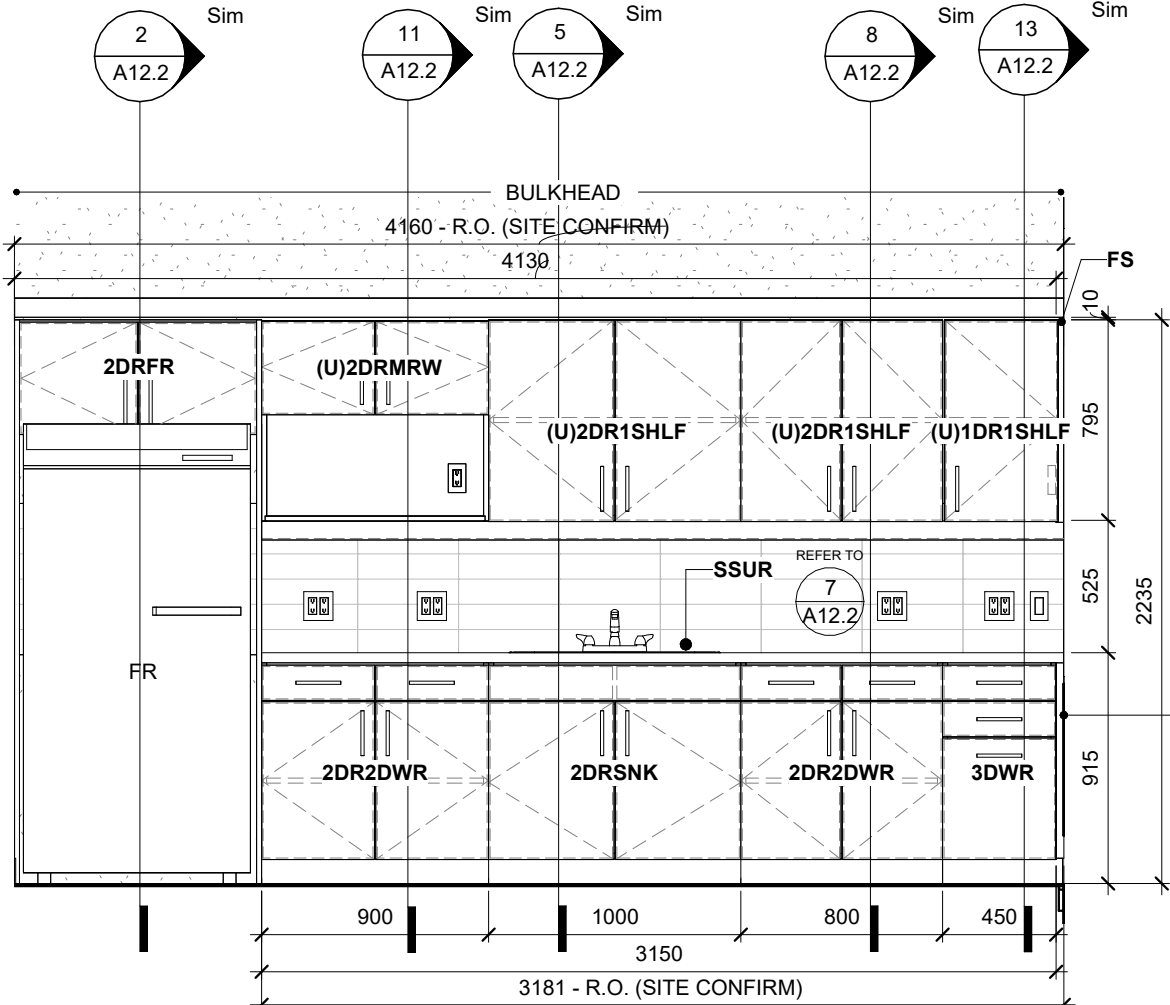


11 - Millwork Elevation - FROM - 1/ A12.1
1:30

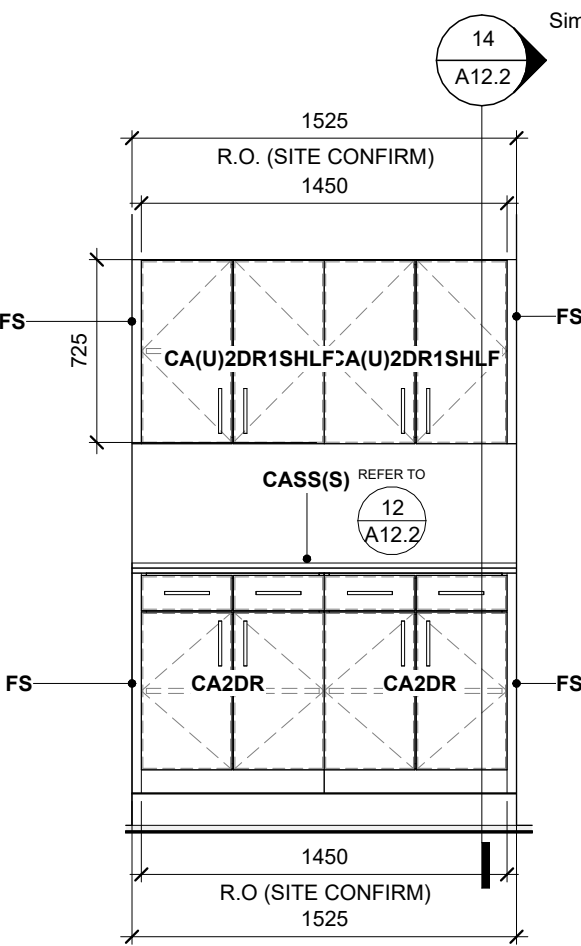
12 /A12.1



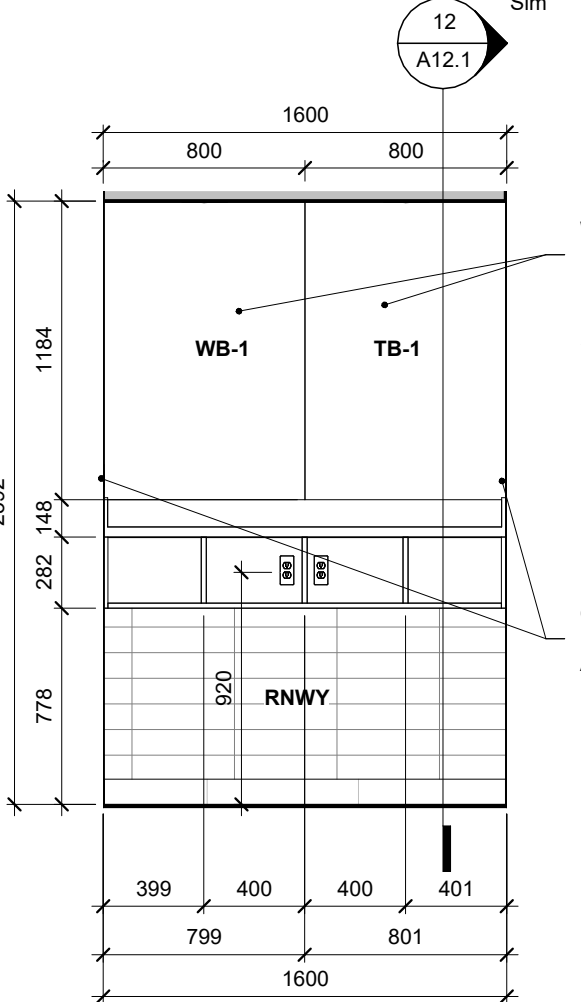
- NOTES:
1. SHOP DRAWING REQUIRED PRIOR TO FABRICATION
2. THIS DETAIL TO BE READ IN CONJUNCTION WITH **A700 GENERAL NOTES - MILLWORK**



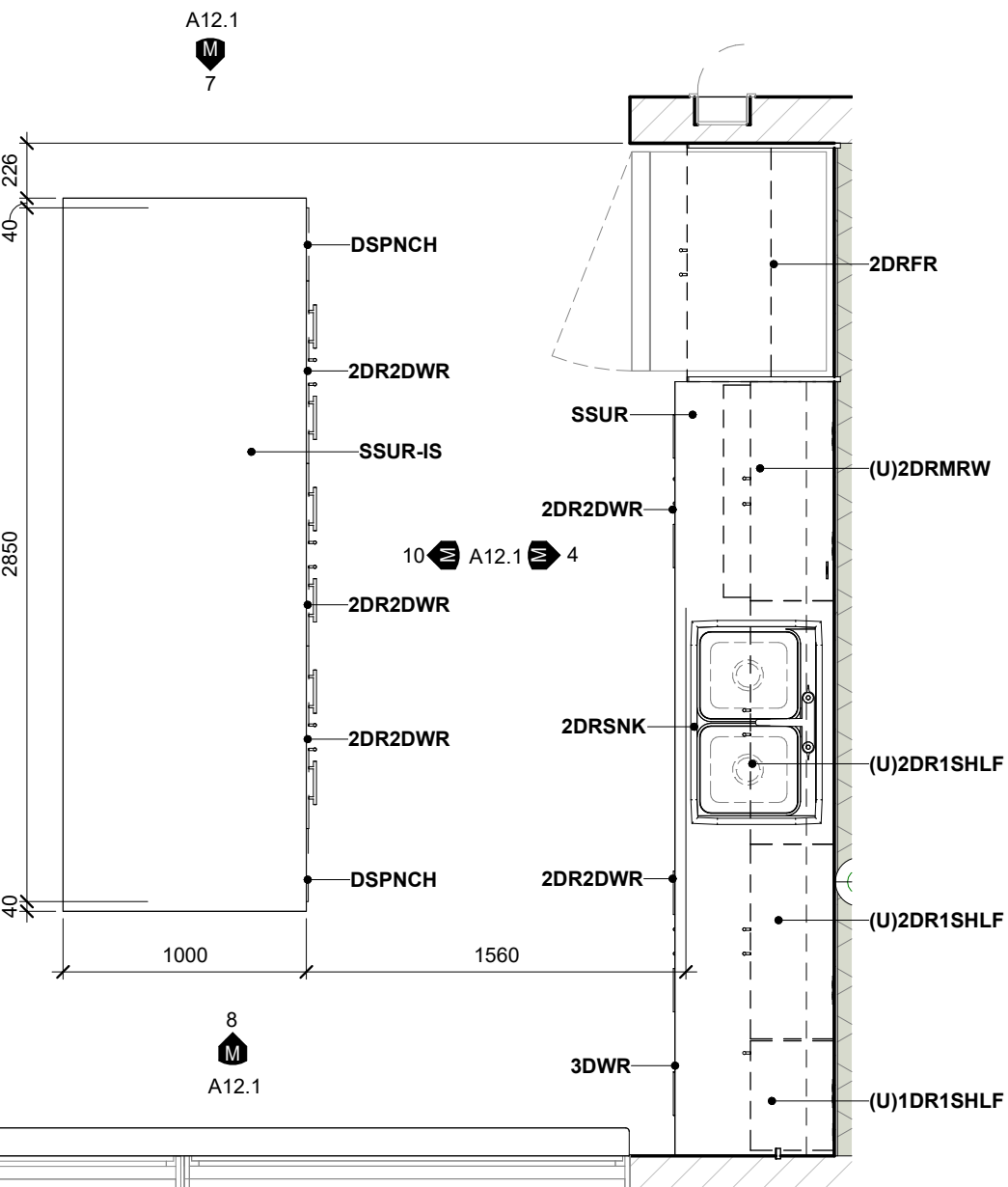
4 - Millwork Elevation - FROM - 1/ A12.1
1:30



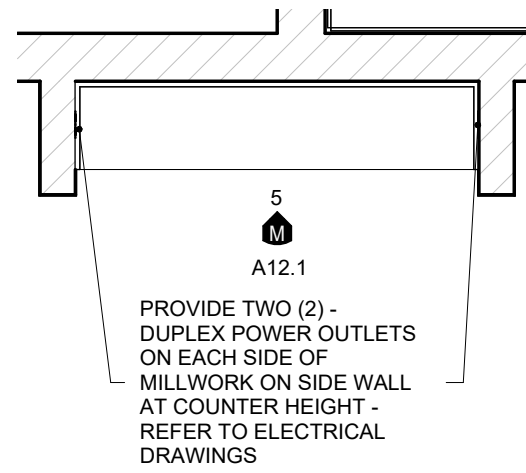
9 - Millwork Elevation - FROM - 2/ A12.1
1:30



5 - Millwork Elevation - FROM - 2/ A12.1
1:30



2 - Floor Plans - FROM - 1/ A9.1
1:30



2 - Floor Plans - FROM - 1/ A9.1
1:30

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21	ADDENDUM #5	2026-01-05
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

YORK REGION PRS #33 RFTC
397-21

PROJECT :

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT

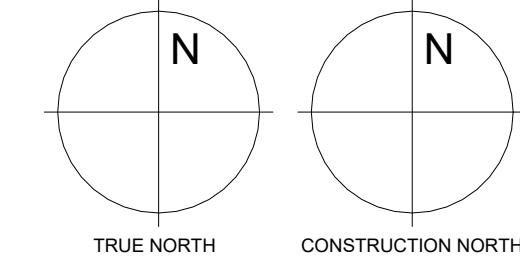
ARCHITECT
THOMASBROWNARCHITECTS
187 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

MILLWORK PLANS,
ELEVATIONS &
DETAILS

ORIENTATION



DATE
2020-11-18

PROJECT No.

1622

DRAWING No.

A12.1

REVISION

25

2026-06-03 12:32:42 PM

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
5	60% CONTRACT DOCUMENTS	2020.09.28
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
19	100% CLIENT REVIEW PRE-TENDER	2023.10.17
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YORK REGION PRS #33 RFTC
397-21

2960 TESTON ROAD, VAUGHAN

PROJECT :

CLIENT

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR
TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES
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ARCHITECT
THOMASBROWNARCHITECTS
187 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C9

PROFESSIONAL SEAL

DWG TITLE

MILLWORK DETAILS

ORIENTATION

DATE
2020-11-18

PROJECT NO.

1622

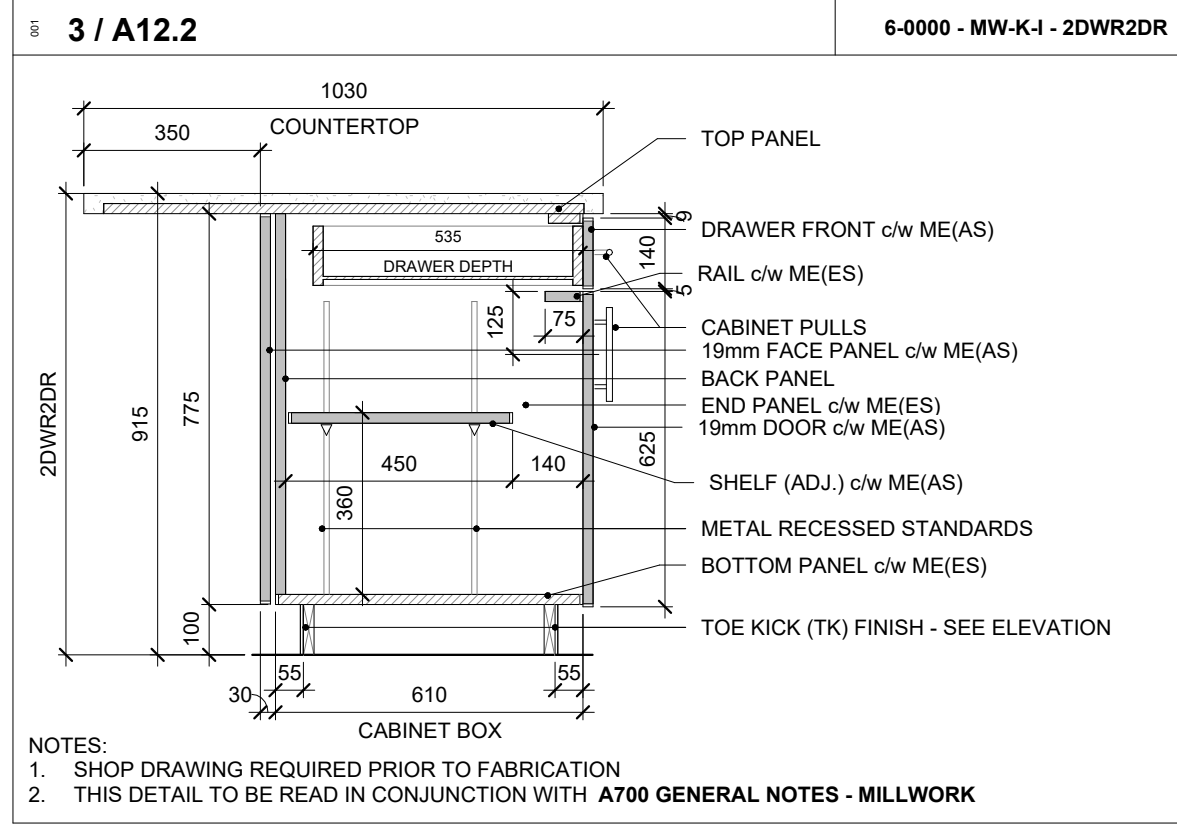
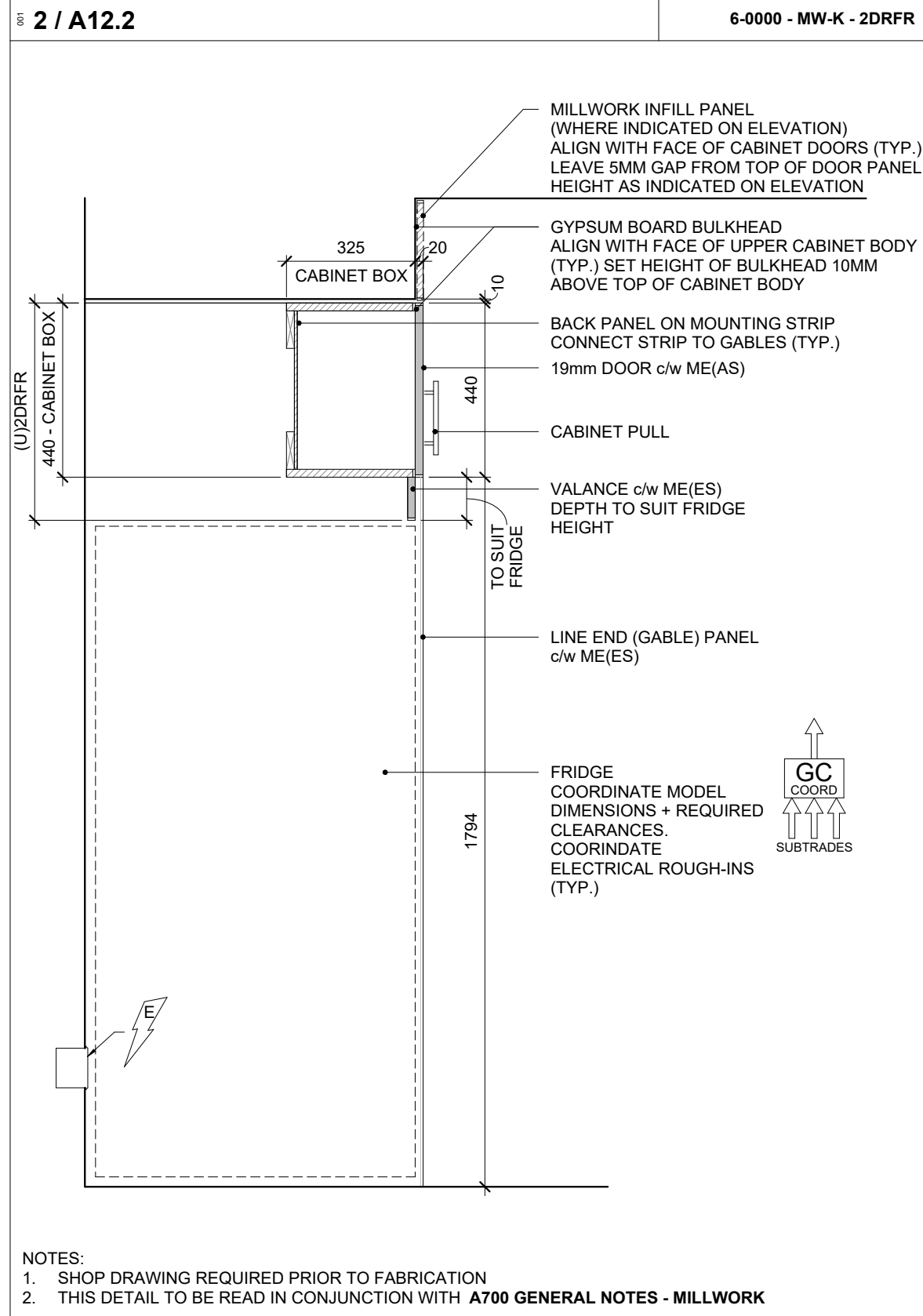
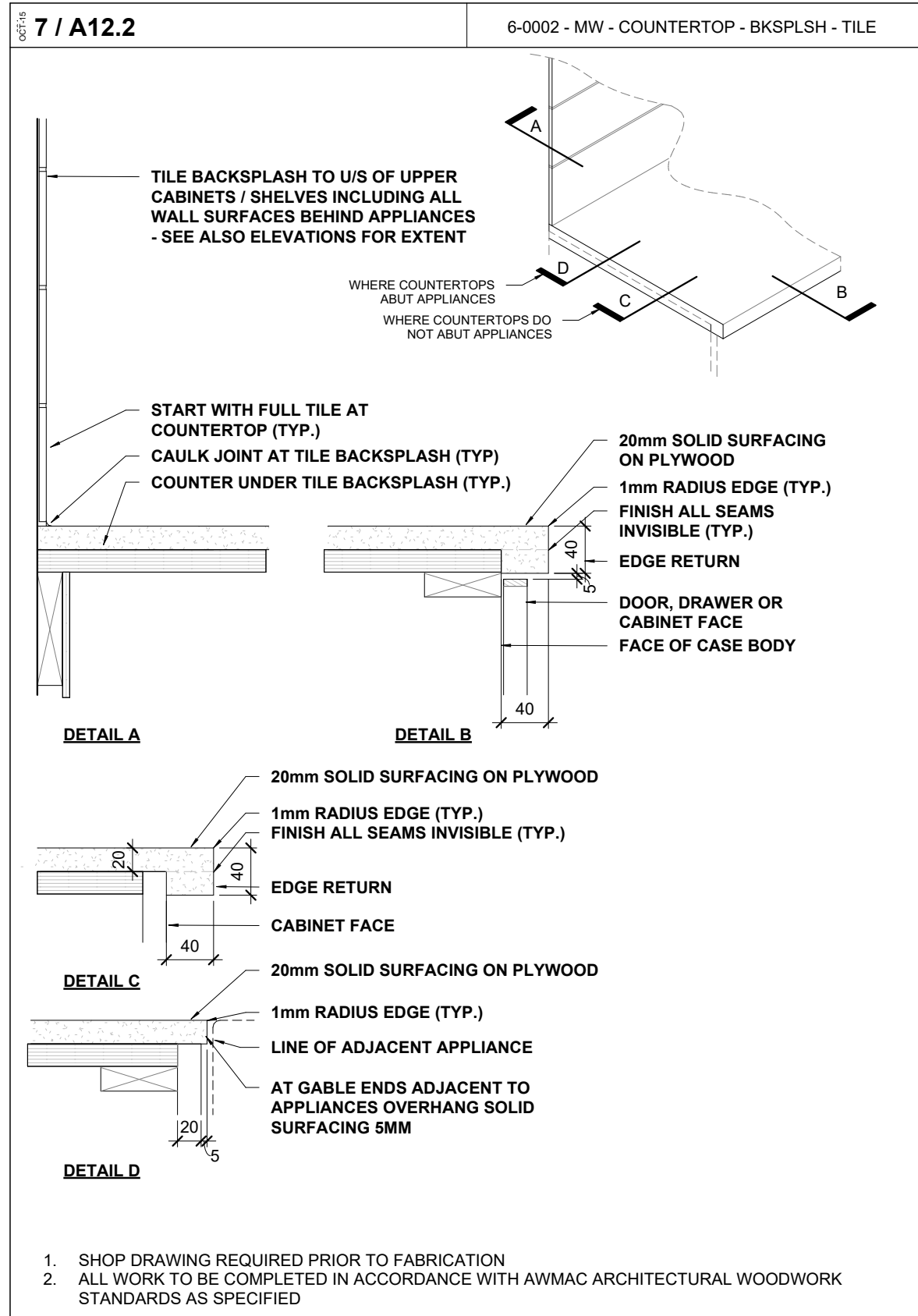
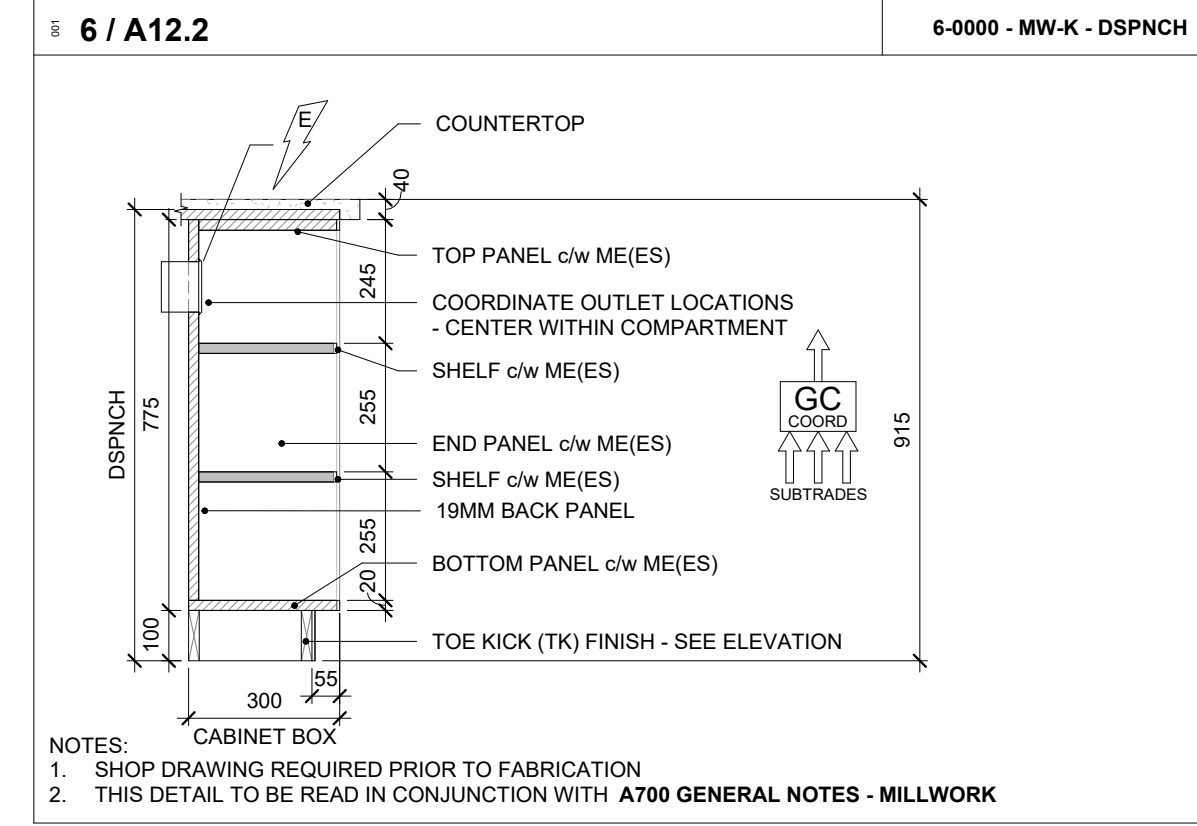
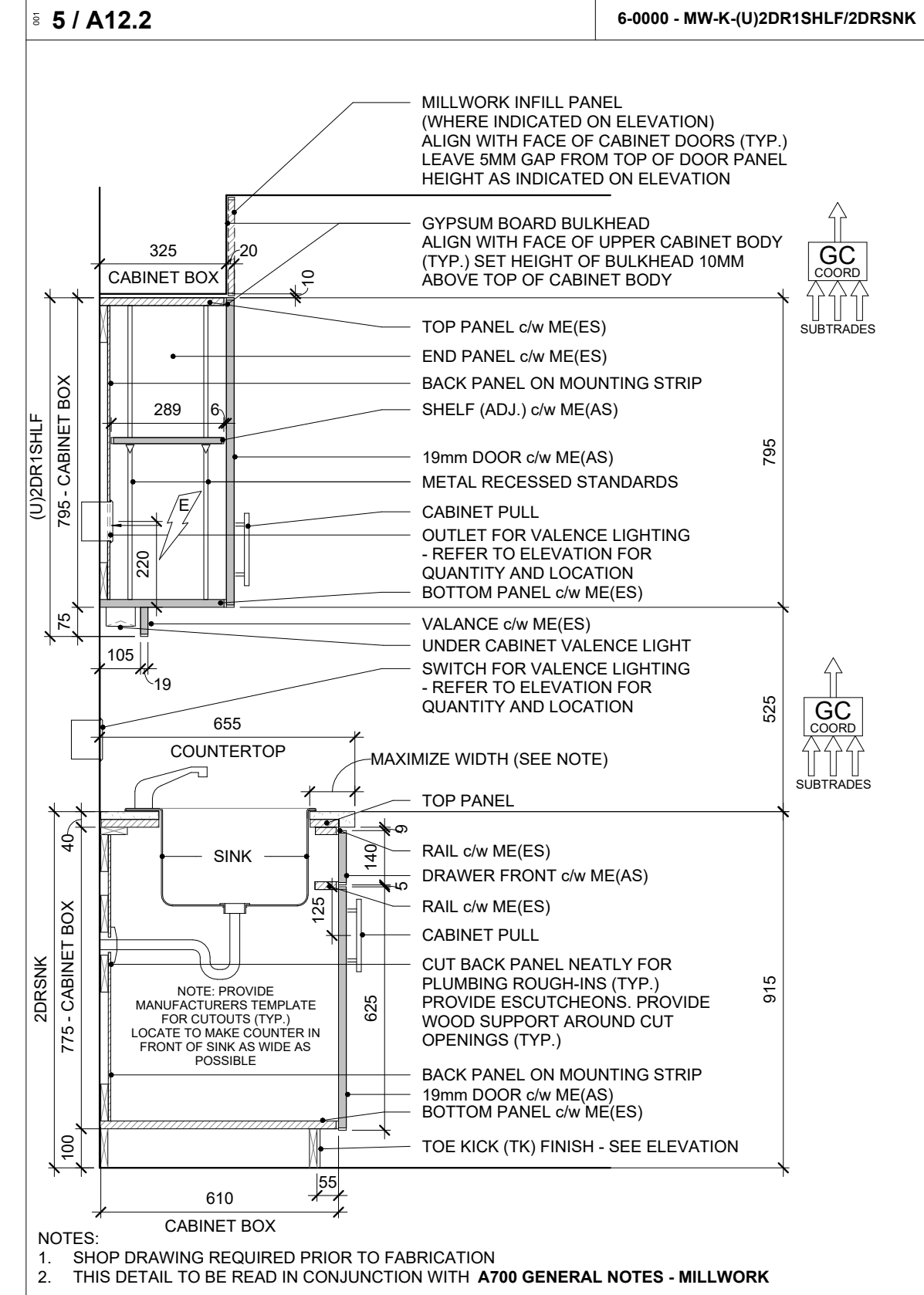
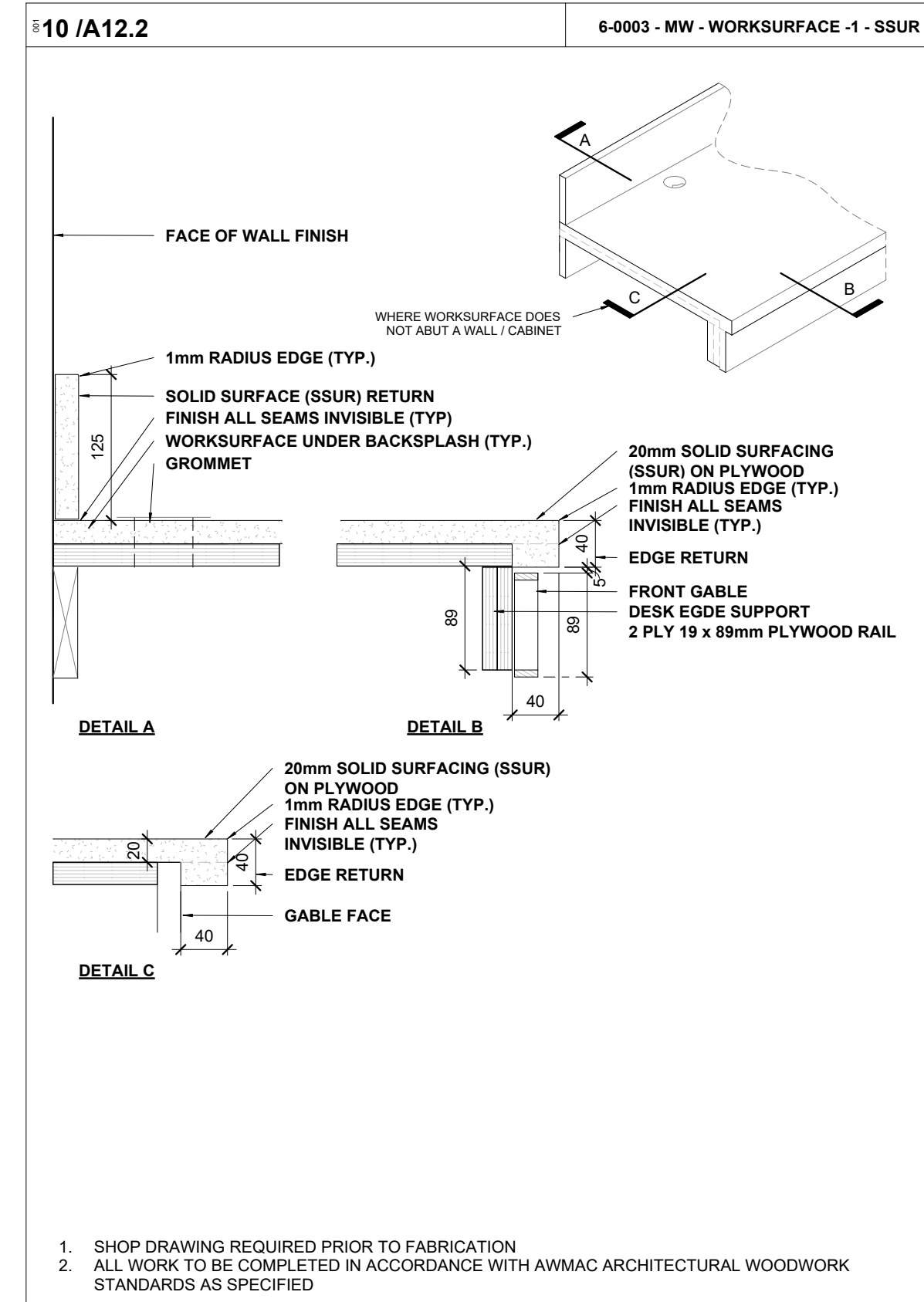
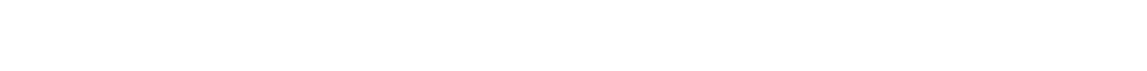
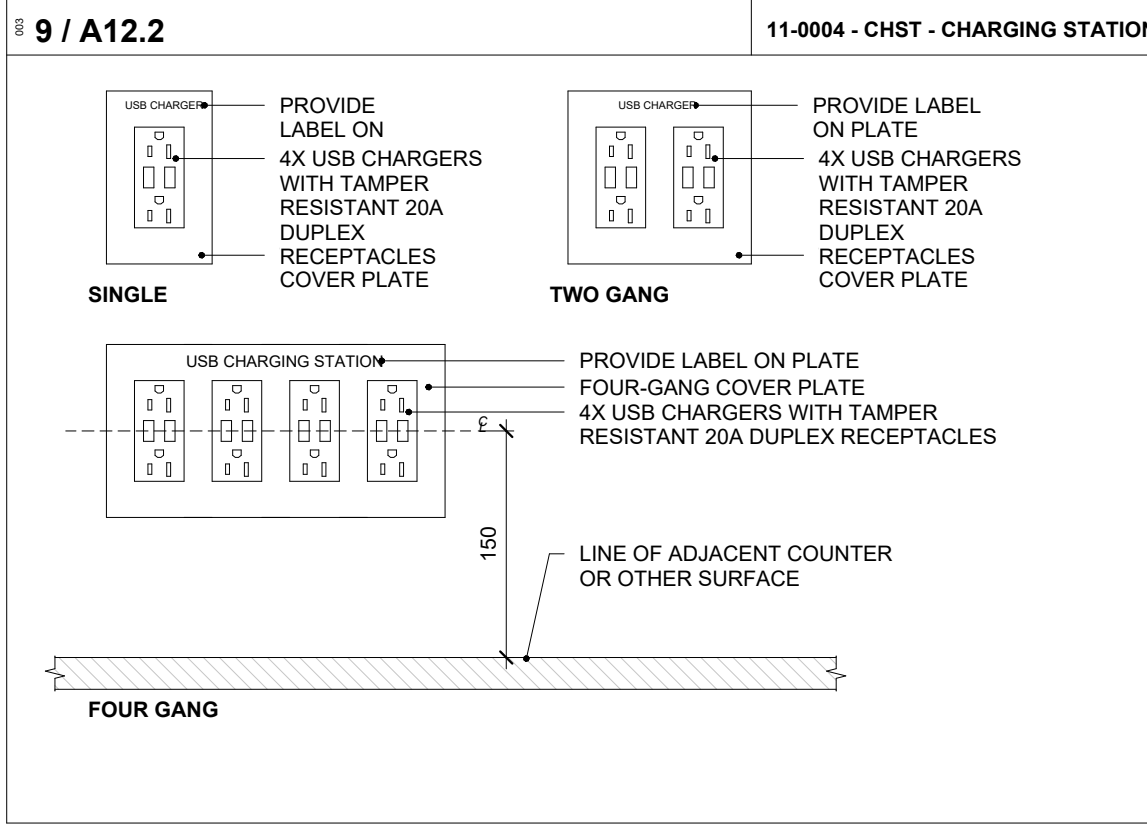
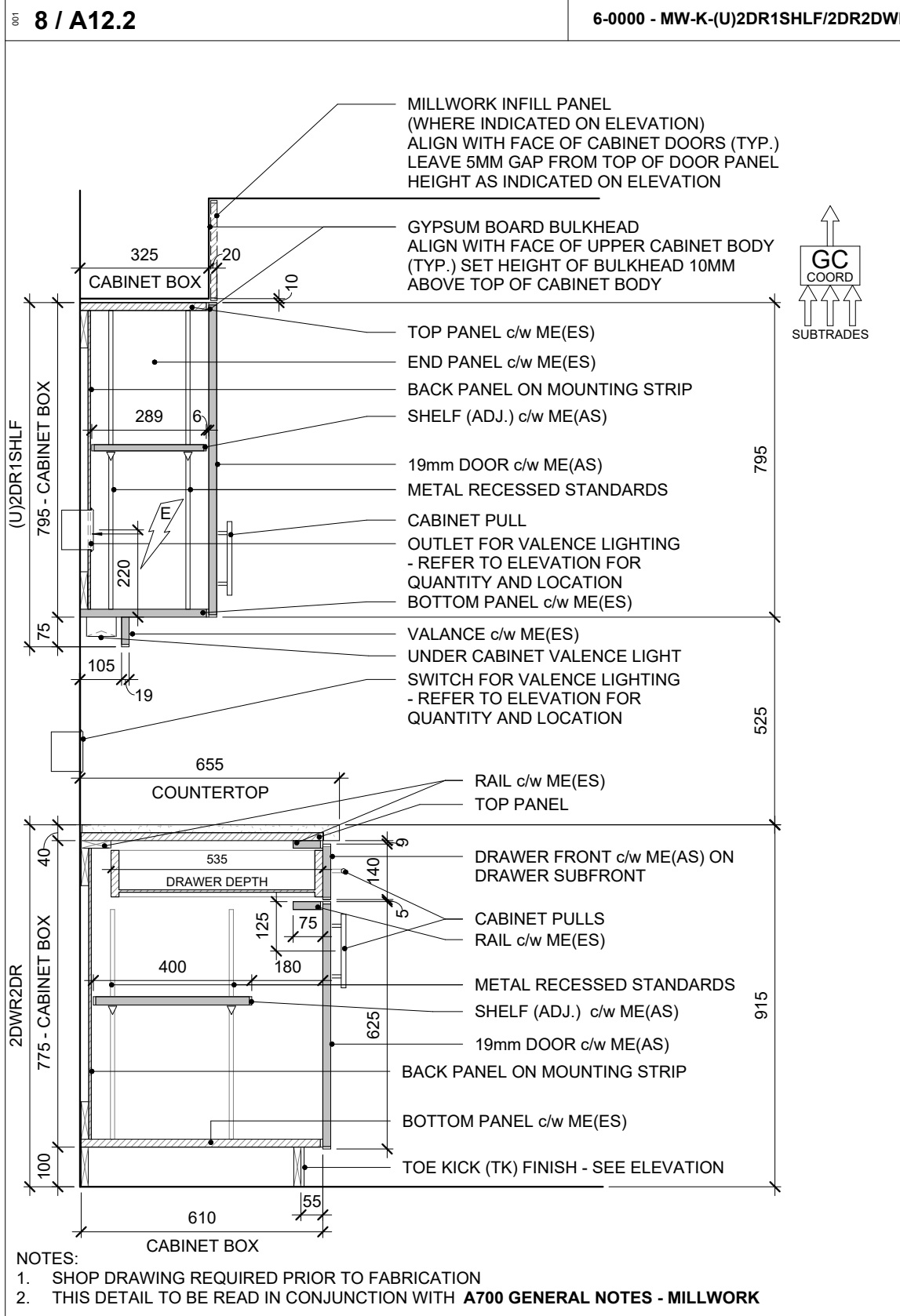
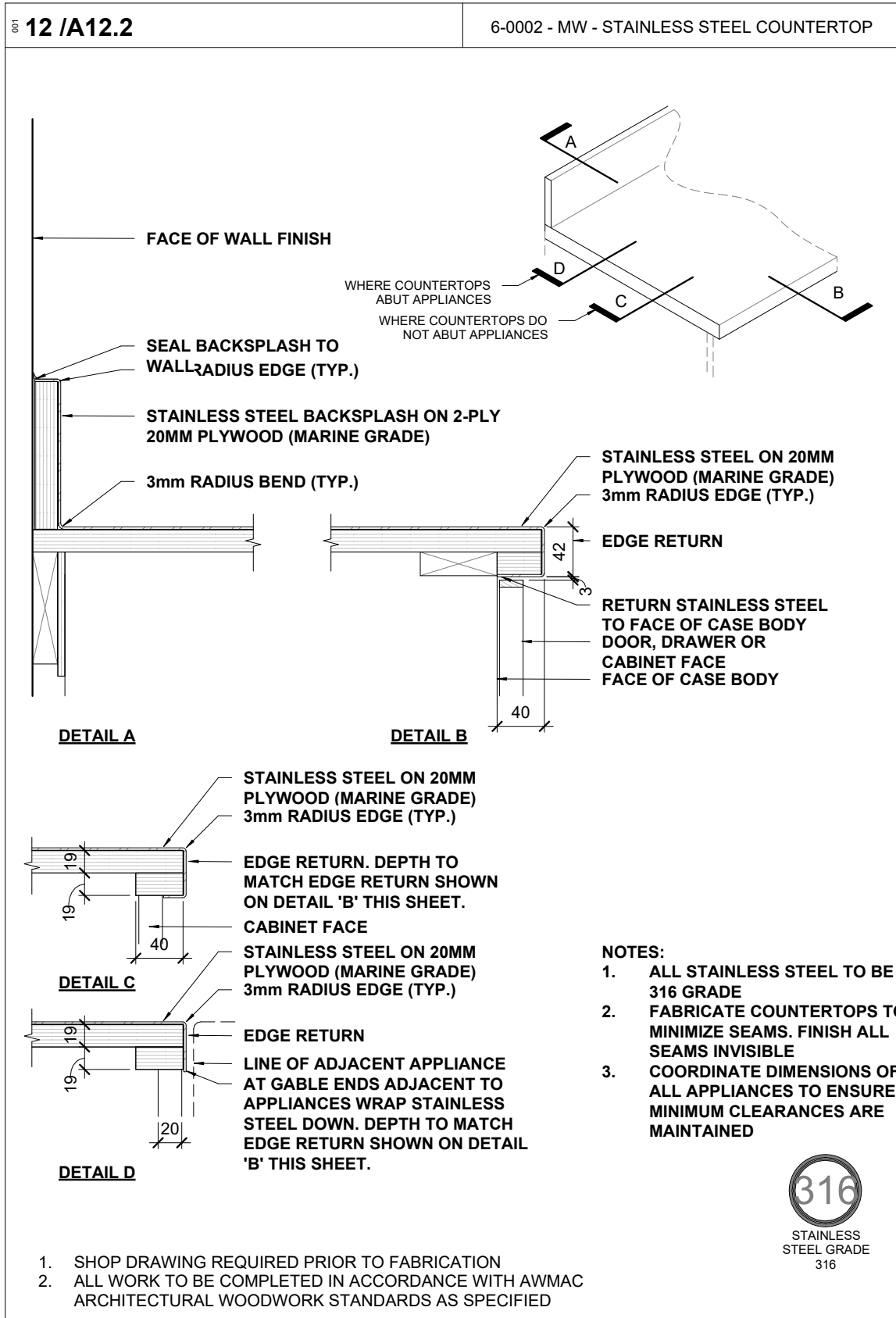
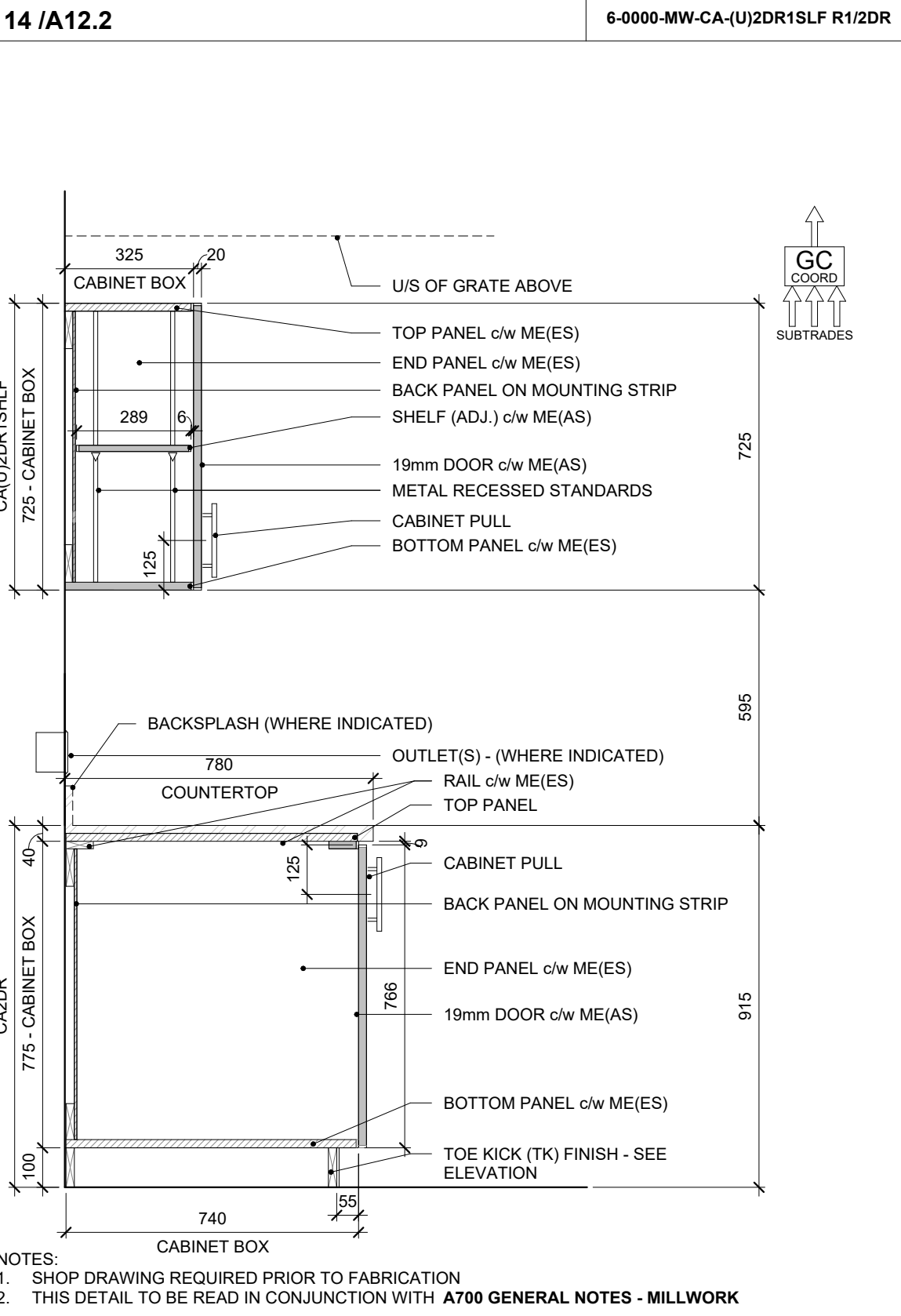
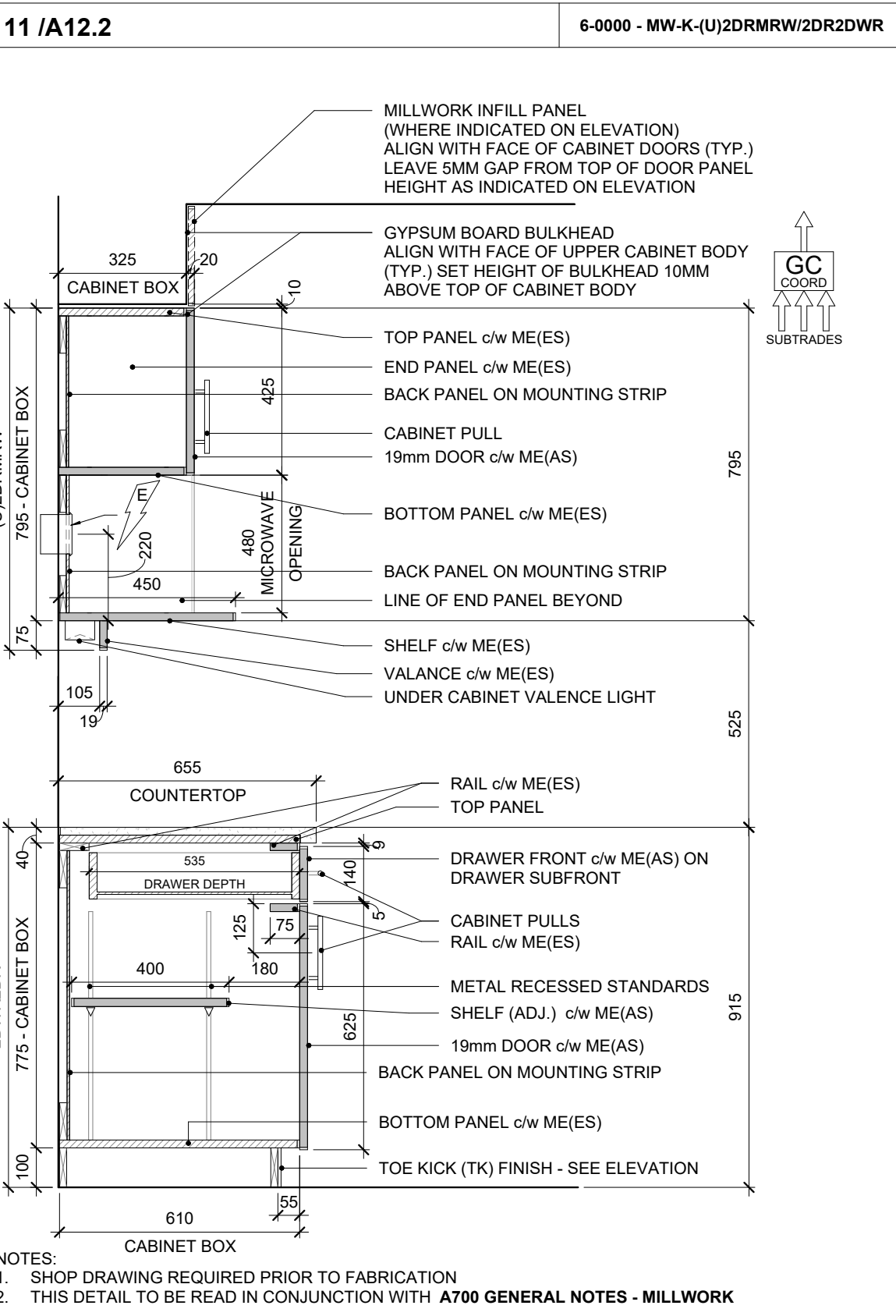
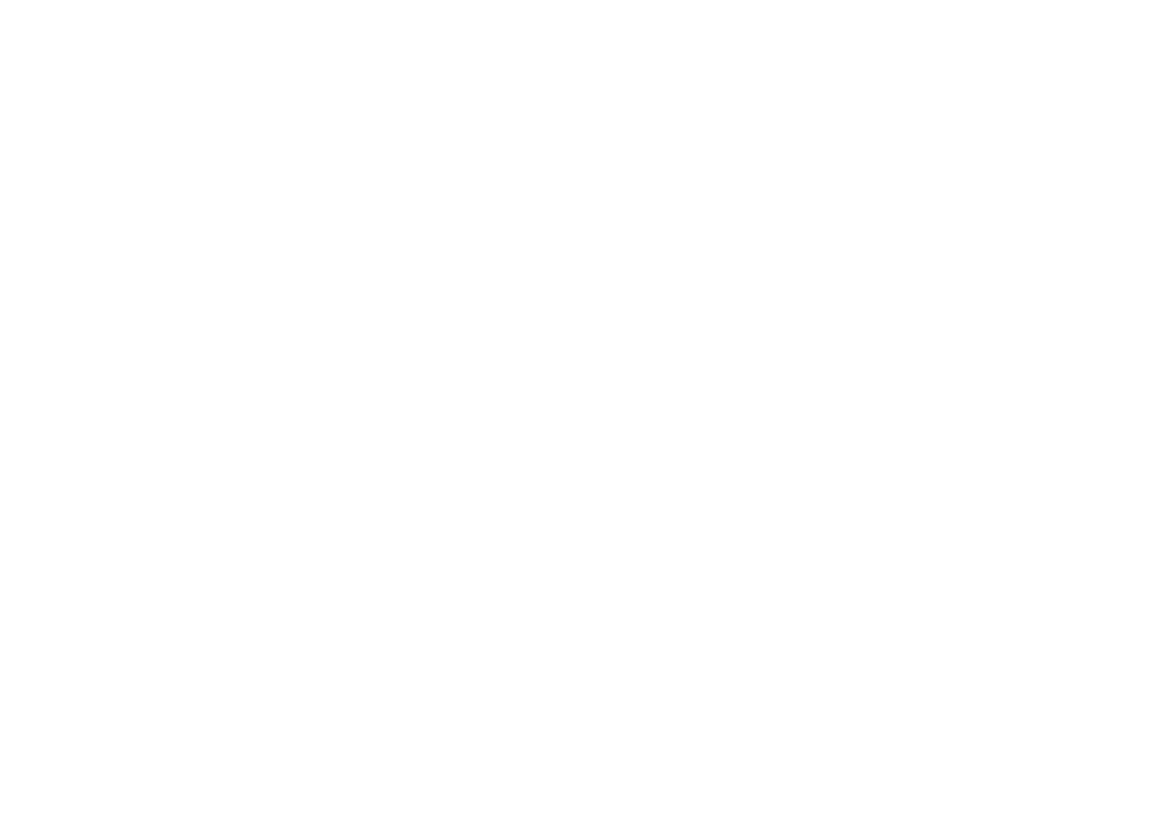
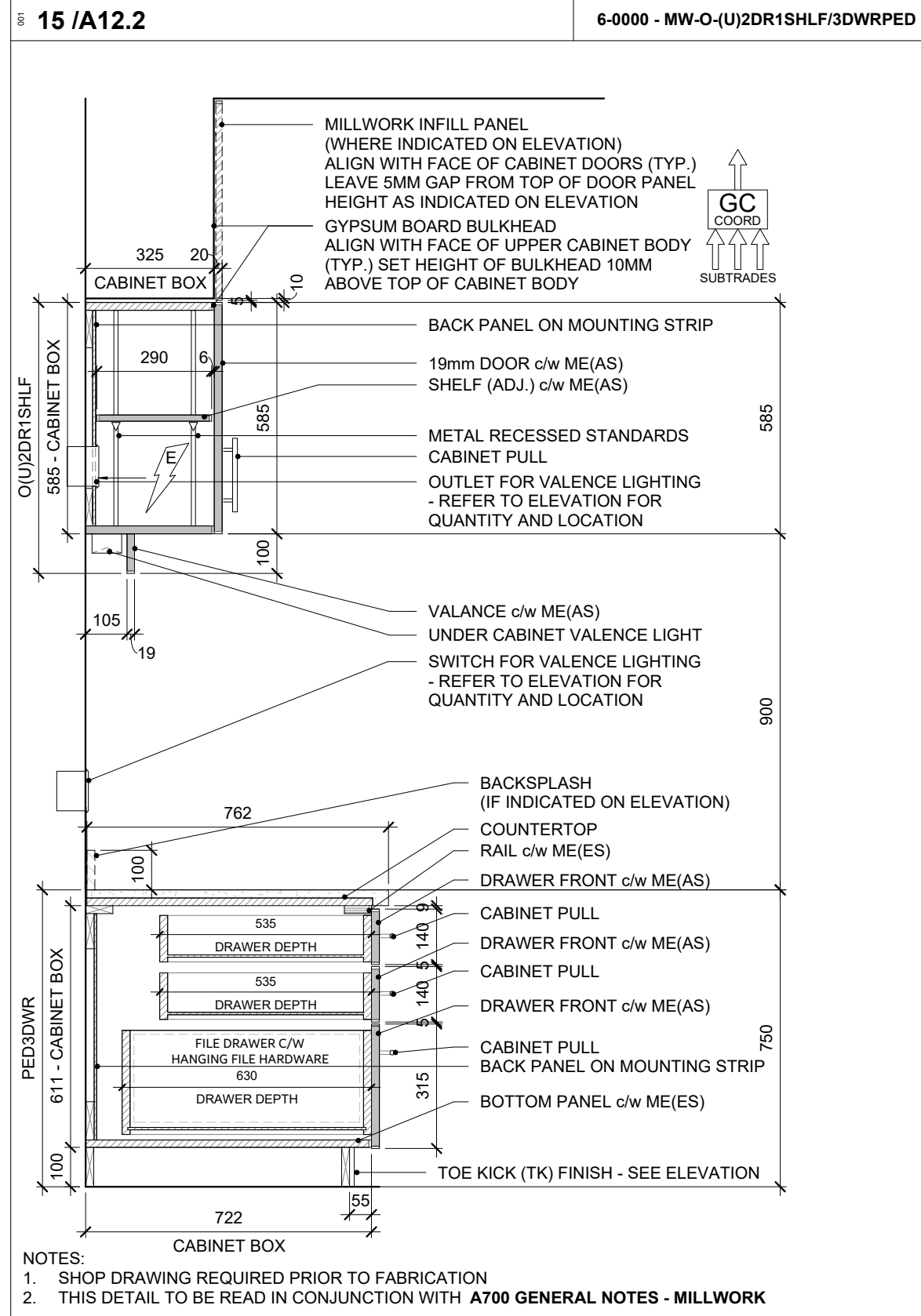
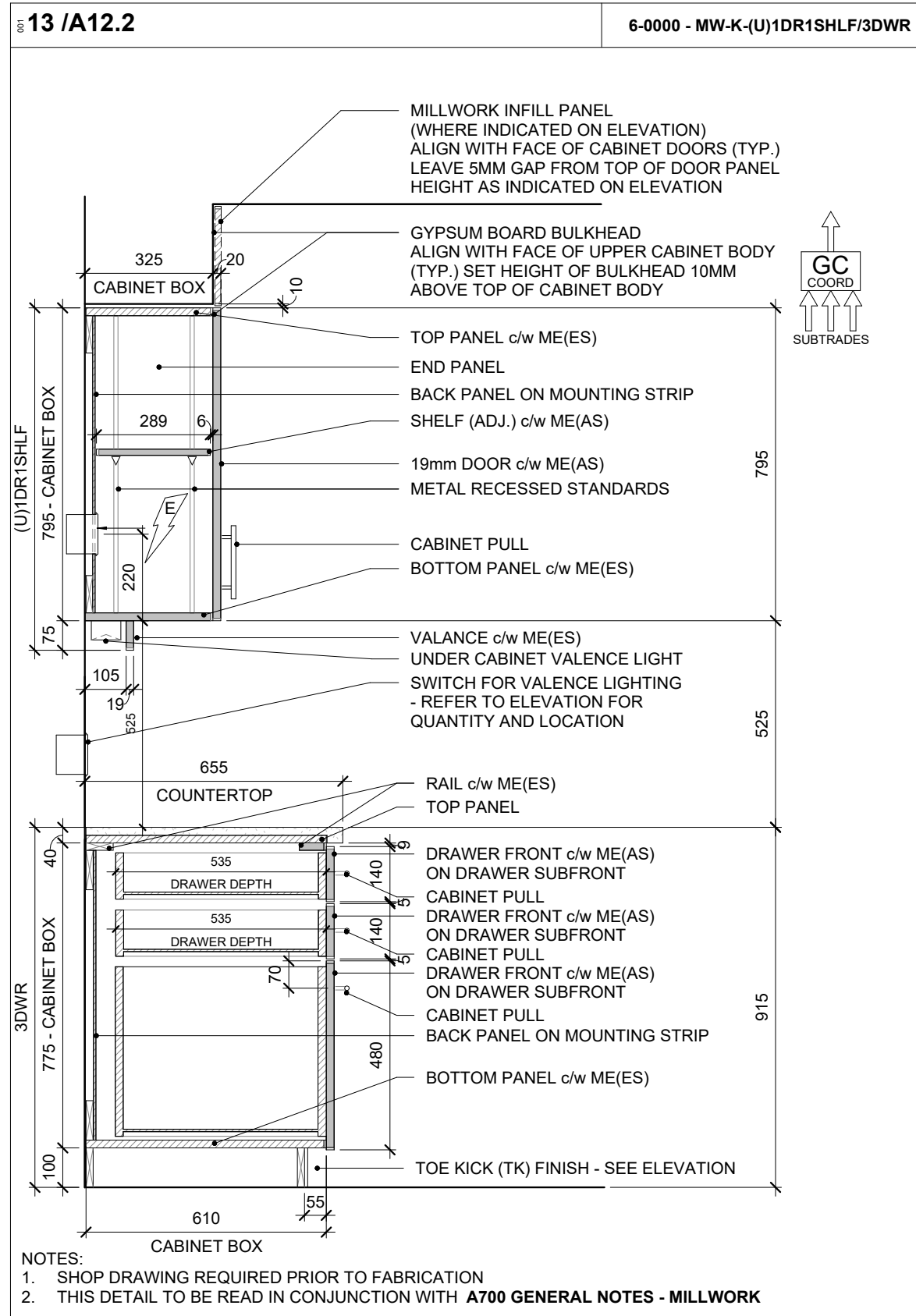
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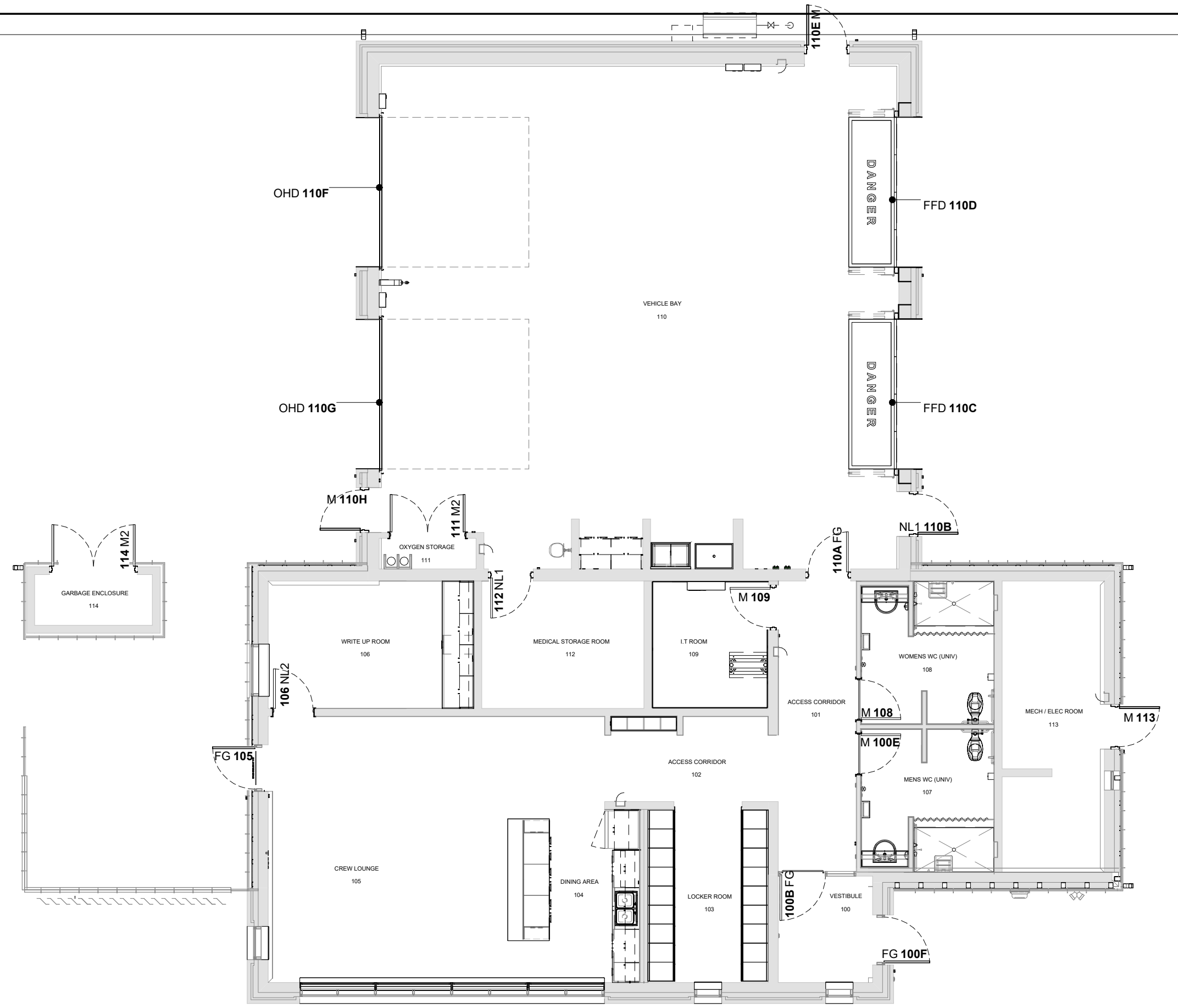


HOLLOW METAL DOOR HARDWARE SCHEDULE

[illegible]

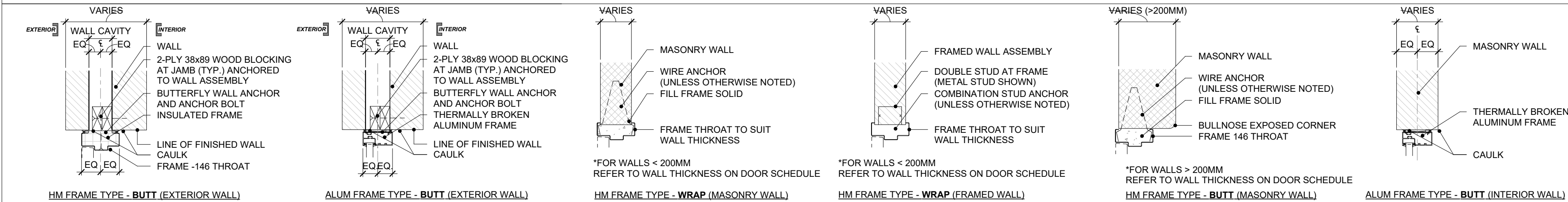
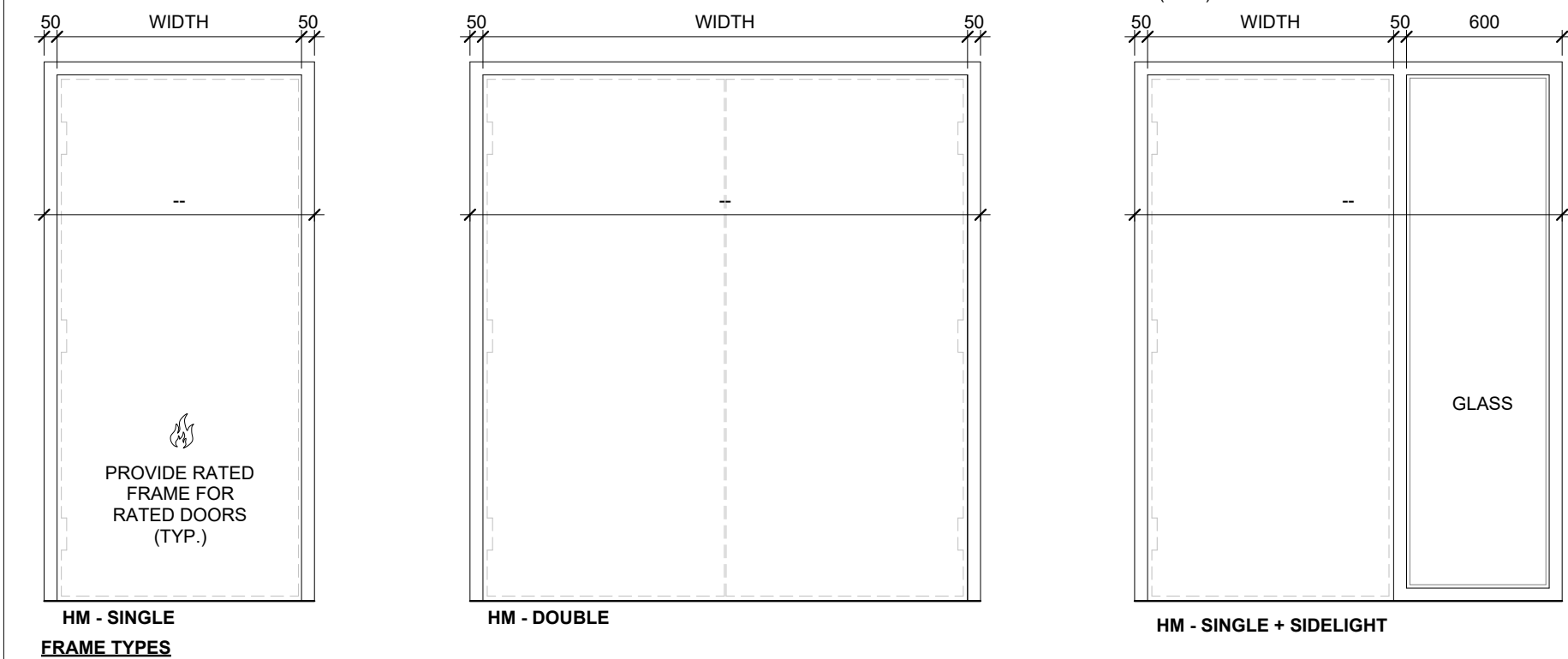
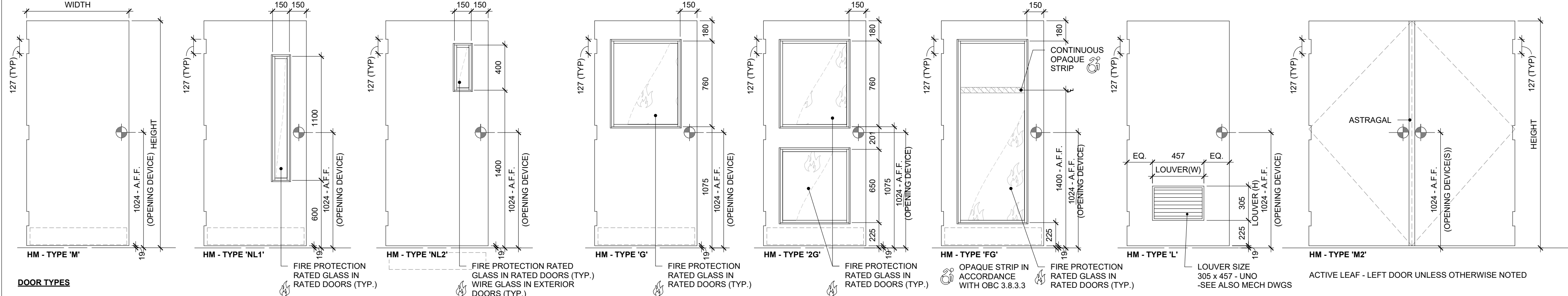
DOOR QUANTITIES BY DOOR TYPE

TYPE	MATERIAL	QUANTITY
FG	AL	3
FG	HM	1
M	HM	6
M2	HM	2
NL1	HM	2
NL2	HM	1
Grand total: 15		

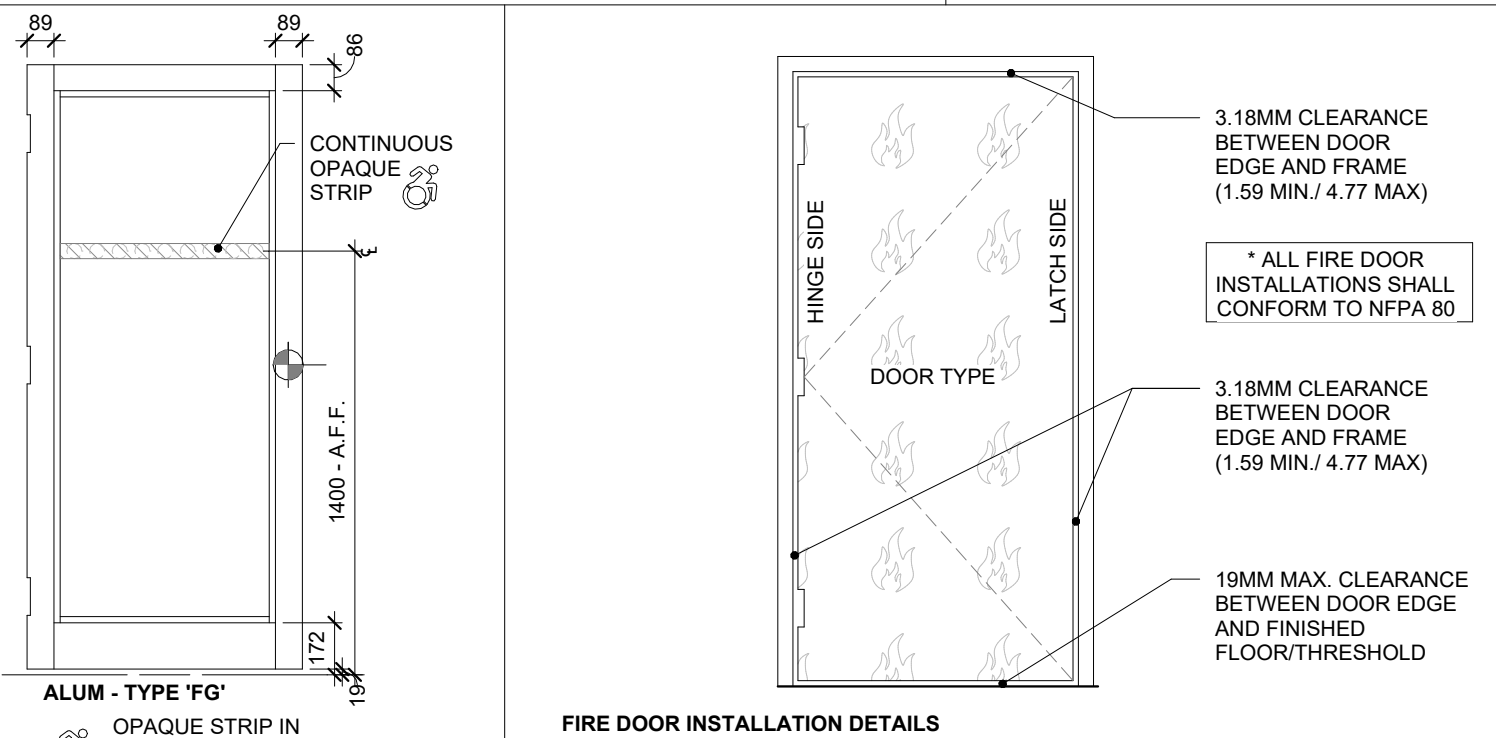


1 GROUND FLOOR PLAN - DOOR KEY PLAN
1 : 100

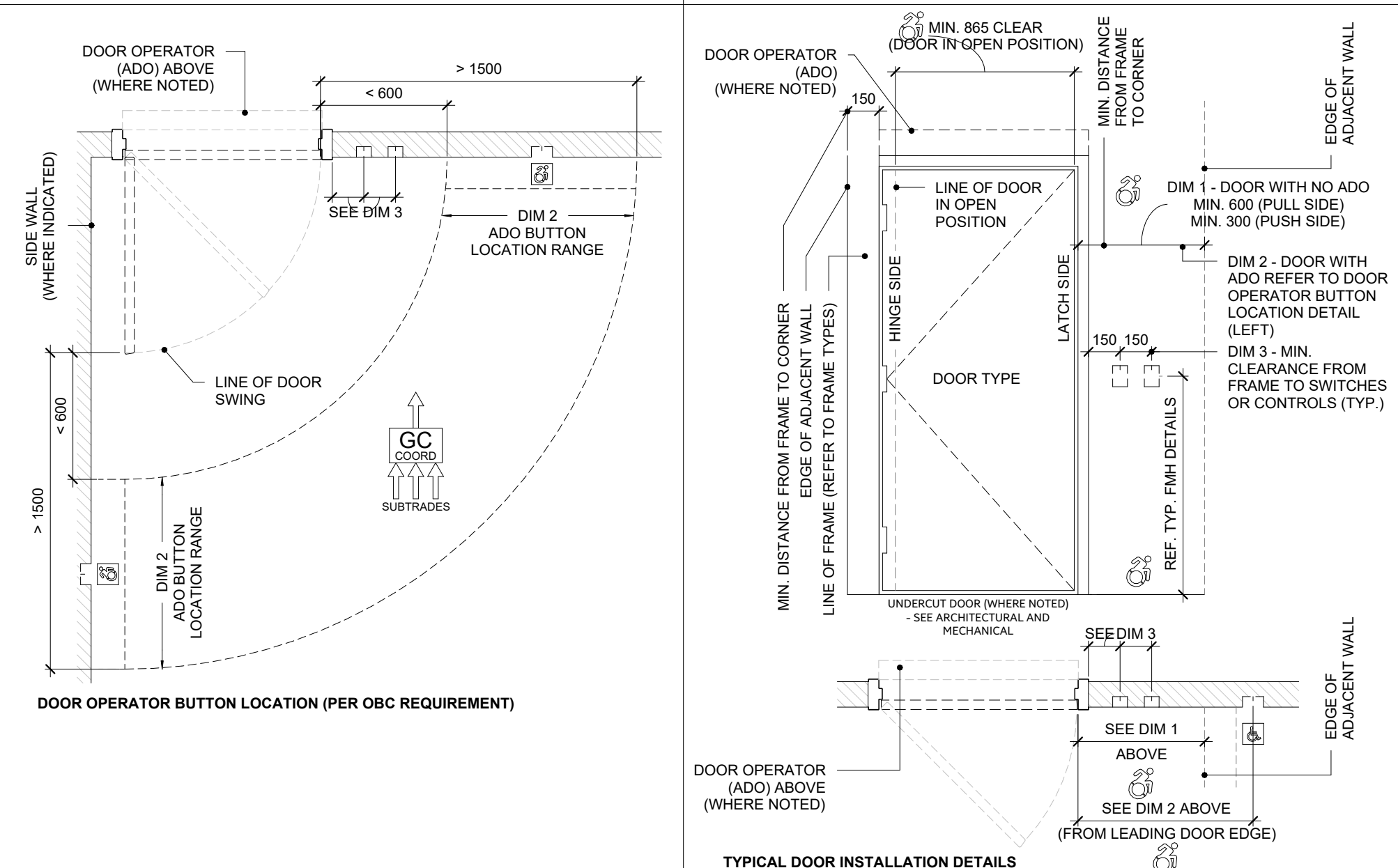
2 / A13.1



00-0001 - DR-1 - DOOR LEGEND AND FRAME TYPES



FIRE DOOR INSTALLATION DETAILS



TYPICAL DOOR INSTALLATION DETAILS

THE CONTENTS OF THIS DRAWING AND SPECIFICATIONS
REMAIN THE COPYRIGHT PROPERTY OF
THOMAS BROWN ARCHITECT INC.
AND MUST BE RETURNED UPON COMPLETION OF THE WORK

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
8	90% CONTRACT DOCUMENTS	2020.12.03
12	BUILDING PERMIT	2023.07.07
14	100% CLIENT REVIEW PRE-TENDER	2023.10.17
19	TENDER	2025-10-30
21	ADDENDUM #5	2026-01-08
25	ISSUED FOR CONSTRUCTION (IFC)	2026-06-03

**YORK REGION PRS #33 RFTC
397-21**

2960 TESTON ROAD, VAUGHAN

PROJECT :

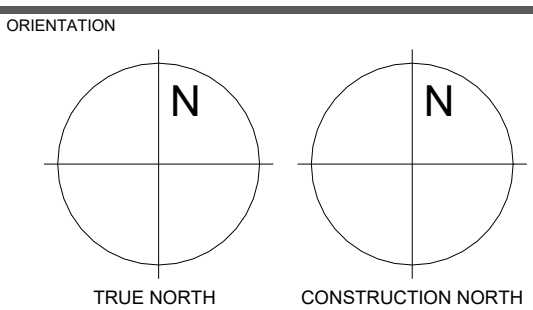
CLIEN

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

ARCHITECT
THOMASBROWNARCHITECTS
197 SPADINA AVENUE, SUITE 500 | TORONTO ONTARIO | M5T 2C8

PROFESSIONAL SEAL

DOOR FINISH SCHEDULE



DATE 2020-11-18

PROJECT No.

1622

DRAWING No.

A13.1

REVISION
25

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